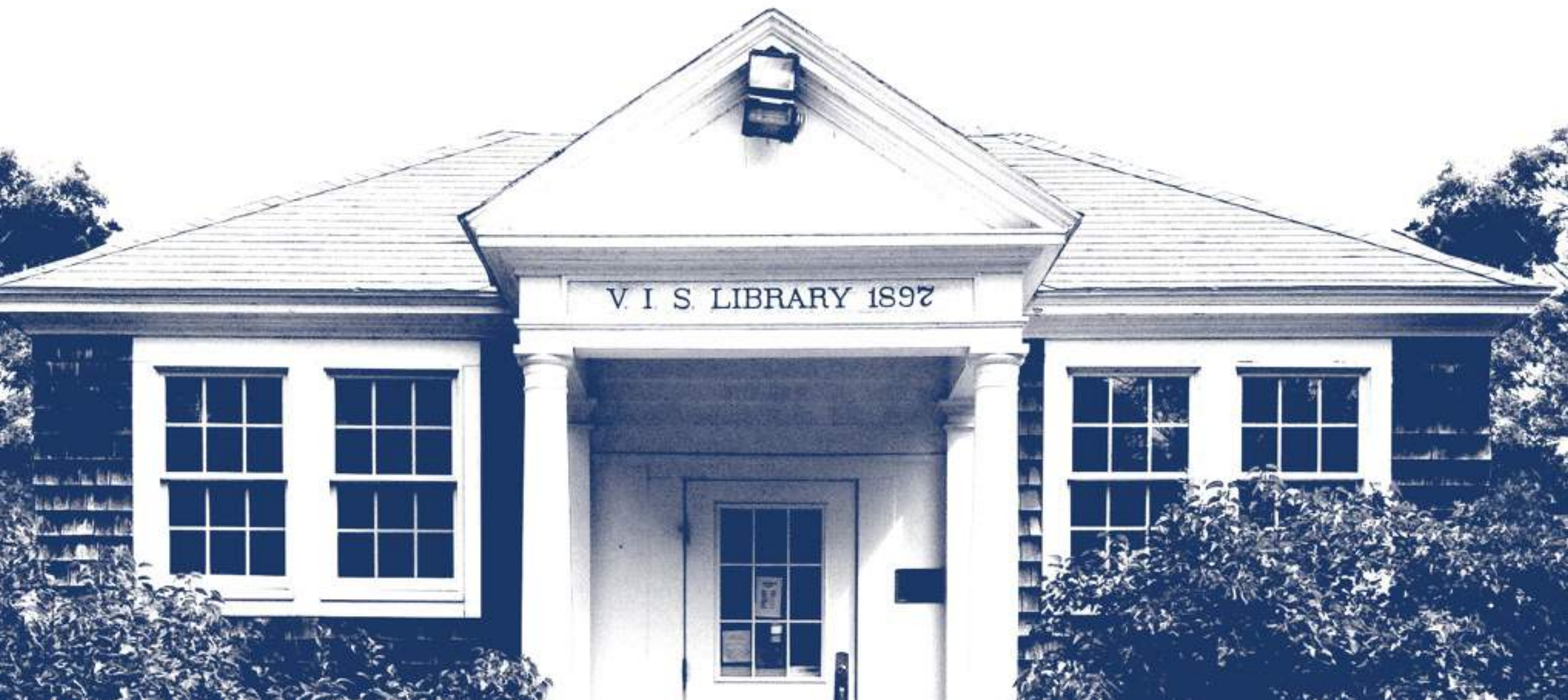


# Eastham Public Library

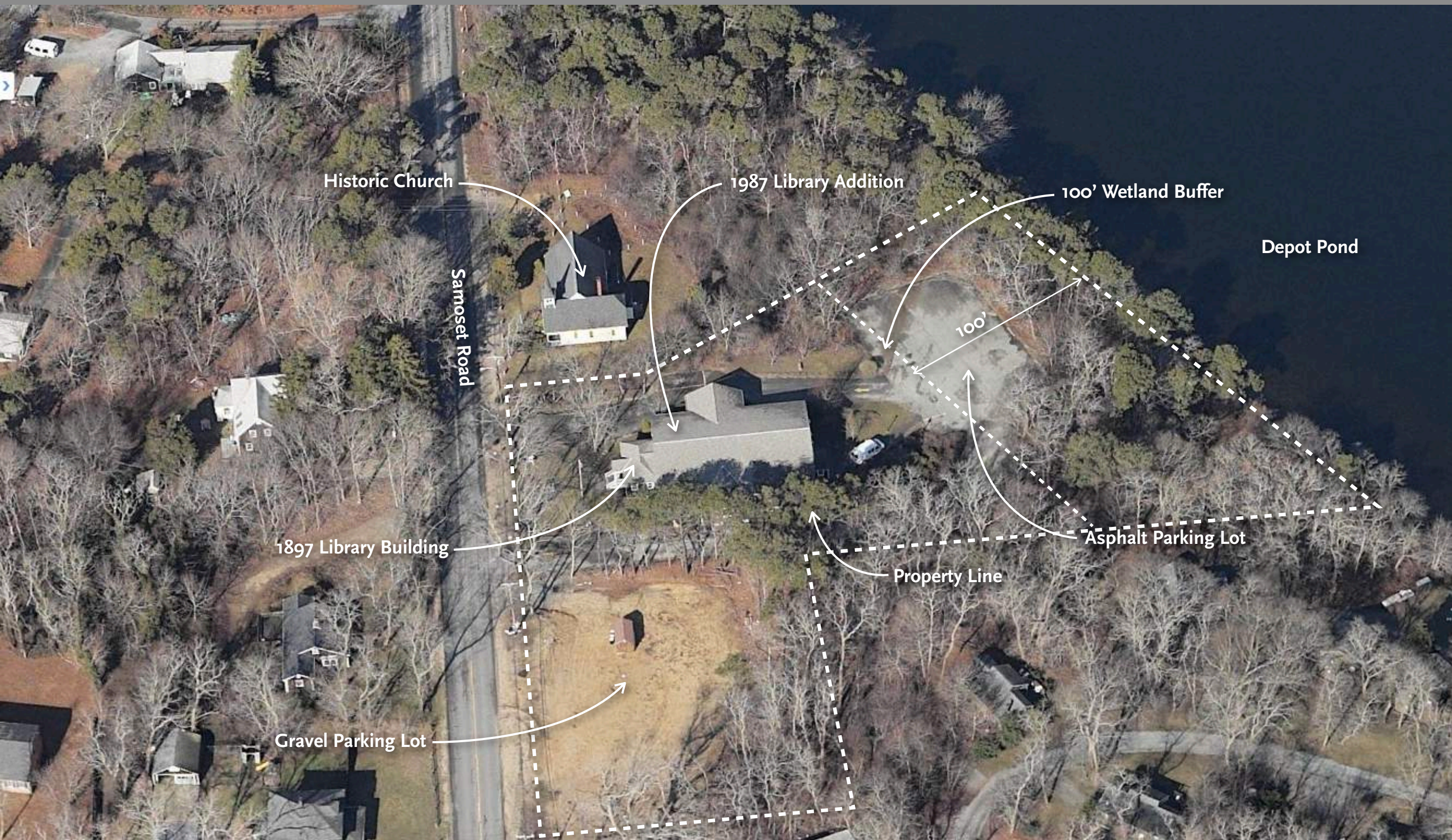
Eastham, Massachusetts

Presentation to the  
**Friends of the Eastham Public Library**  
June 16, 2015

Oudens Ello Architecture







## Existing Site Conditions



Eastham Public Library 06.16.15 Friends Presentation  
Oudens Ello Architecture













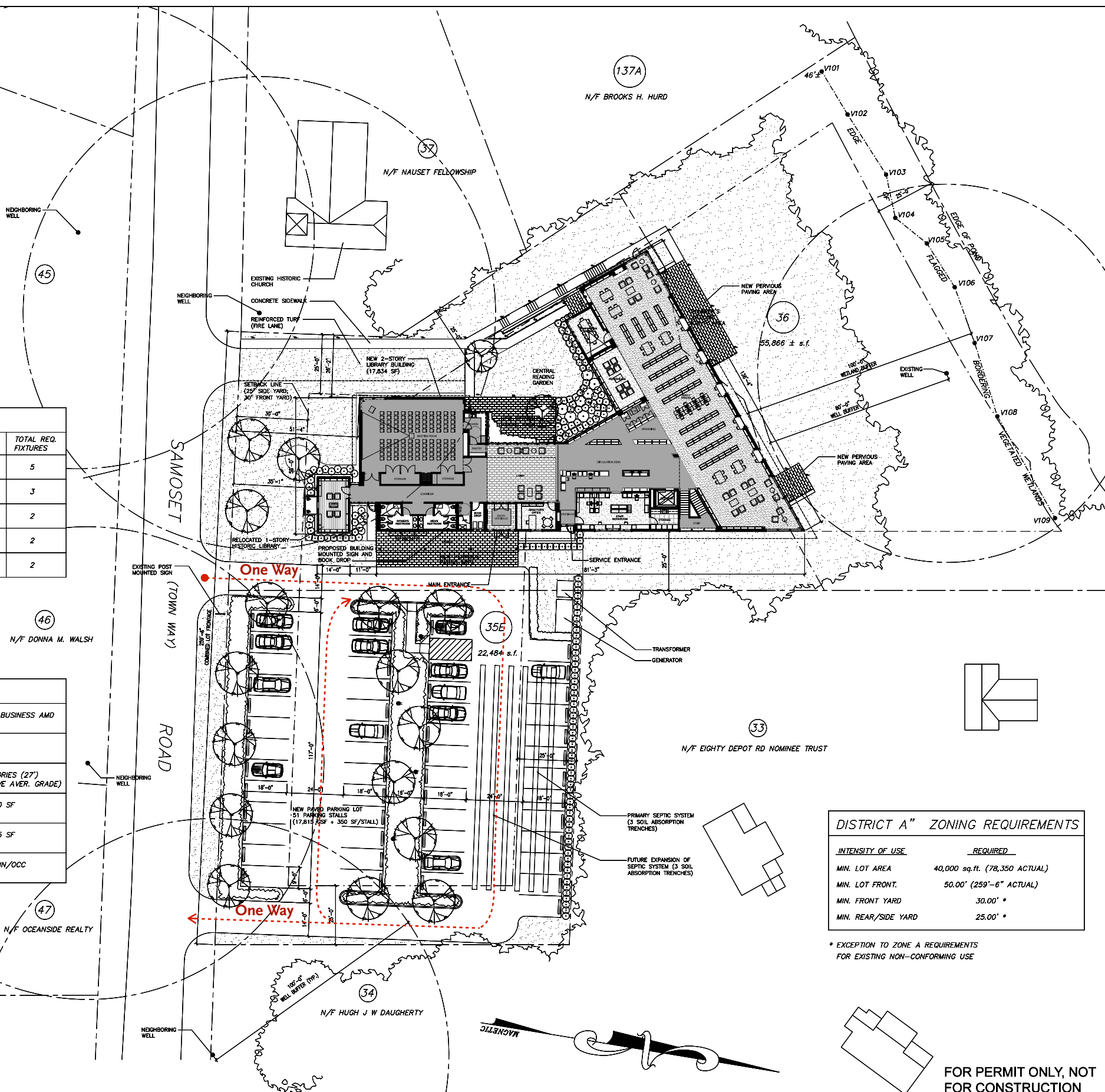
EGRESS OCCUPANCY			
UPPER LEVEL FUNCTION	AREA SF	FACTOR SF/OCC	OCCUPANCY LOAD
READING AREA	1,660	50 SF/OCC	34
ASSEMBLY	615	15 SF/OCC	41
MEETING ROOM	1,360	**	120
STACKS	2,610	100 SF/OCC	27
BUSINESS	3,940	100 SF/OCC	40
STORAGE / MEP	220	300 SF/OCC	1
TOTAL			263

LOWER LEVEL FUNCTION	AREA SF	FACTOR SF/OCC	OCCUPANCY LOAD
READING AREA	230	50 SF/OCC	5
ASSEMBLY	1,174	15 SF/OCC	79
YOUNG ADULTS	475	**	12
STACKS	585	100 SF/OCC	6
BUSINESS	2,300	100 SF/OCC	23
STORAGE / MEP	1,065	300 SF/OCC	4
TOTAL			129

\*\* SEATING COUNT USED SINCE HIGHER THAN AREA VALUE

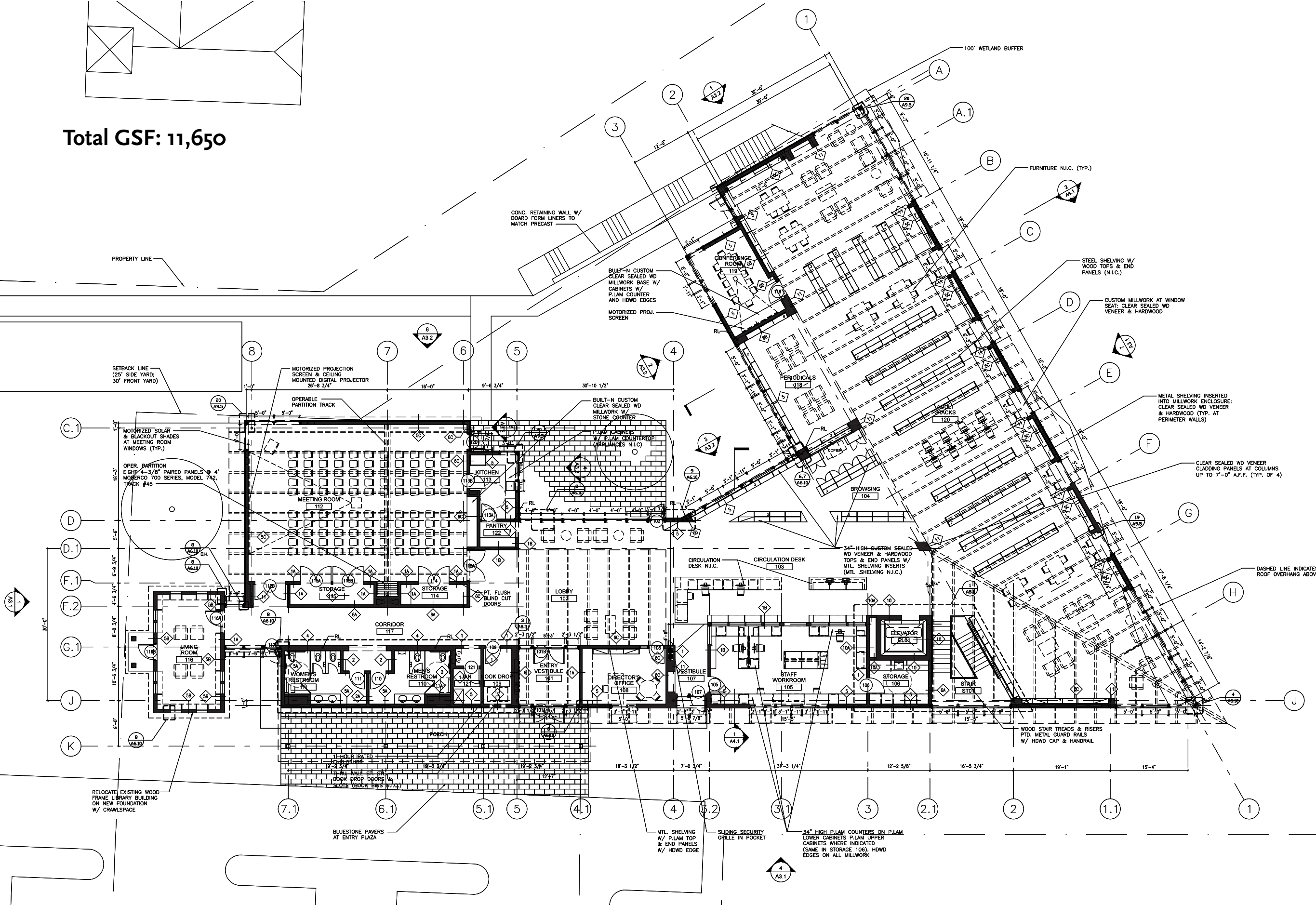
PLUMBING FIXTURE COUNT				
OCCUPANT LOAD	PLUMBING UNITS	FACTOR	REQUIRED FIXTURES	TOTAL REQ. FIXTURES
PUBLIC: (193 M / 193 F)	TOILETS	FEMALE PUBLIC 1:50	(3.86) = 4	5
		FEMALE STAFF 1:20	(0.15) = 1	
		MALE PUBLIC 1:100	(1.93) = 2	
		MALE STAFF 1:25	(0.12) = 1	
STAFF (FTE): (3 M / 3 F)	LAVATORIES	FEMALE PUBLIC 1:200	(0.97) = 1	2
		FEMALE STAFF 1:40	(0.08) = 1	
		MALE PUBLIC 1:200	(0.97) = 1	
		MALE STAFF 1:40	(0.08) = 1	
	DRINKING	1 PER FLOOR	UPPER = 1 LOWER = 1	2

BUILDING CODE COMPLIANCE SUMMARY			
USE GROUP	GROUP A-3, ASSEMBLY, AND ACCESSORY GROUP B, BUSINESS AND GROUP S-1, MODERATE HAZARD STORAGE		
CONSTRUCTION TYPE	TYPE VB, UNPROTECTED COMBUSTIBLE (FULLY SPRINKLERED BUILDING)		
ALLOWABLE HEIGHT	2 STORIES (60')	ACTUAL HEIGHT	2 STORIES (27') (ABOVE AVER. GRADE)
ALLOWABLE FOOTPRINT AREA	20,750 SF	ACTUAL FOOTPRINT AREA	11,650 SF
ALLOWABLE AGGREGATE AREA	41,500 SF	ACTUAL AGGREGATE AREA	17,815 SF
EGRESS CAPACITY	STAIRS: 0.20 IN/OCC    OTHER COMPONENTS: 0.15 IN/OCC		





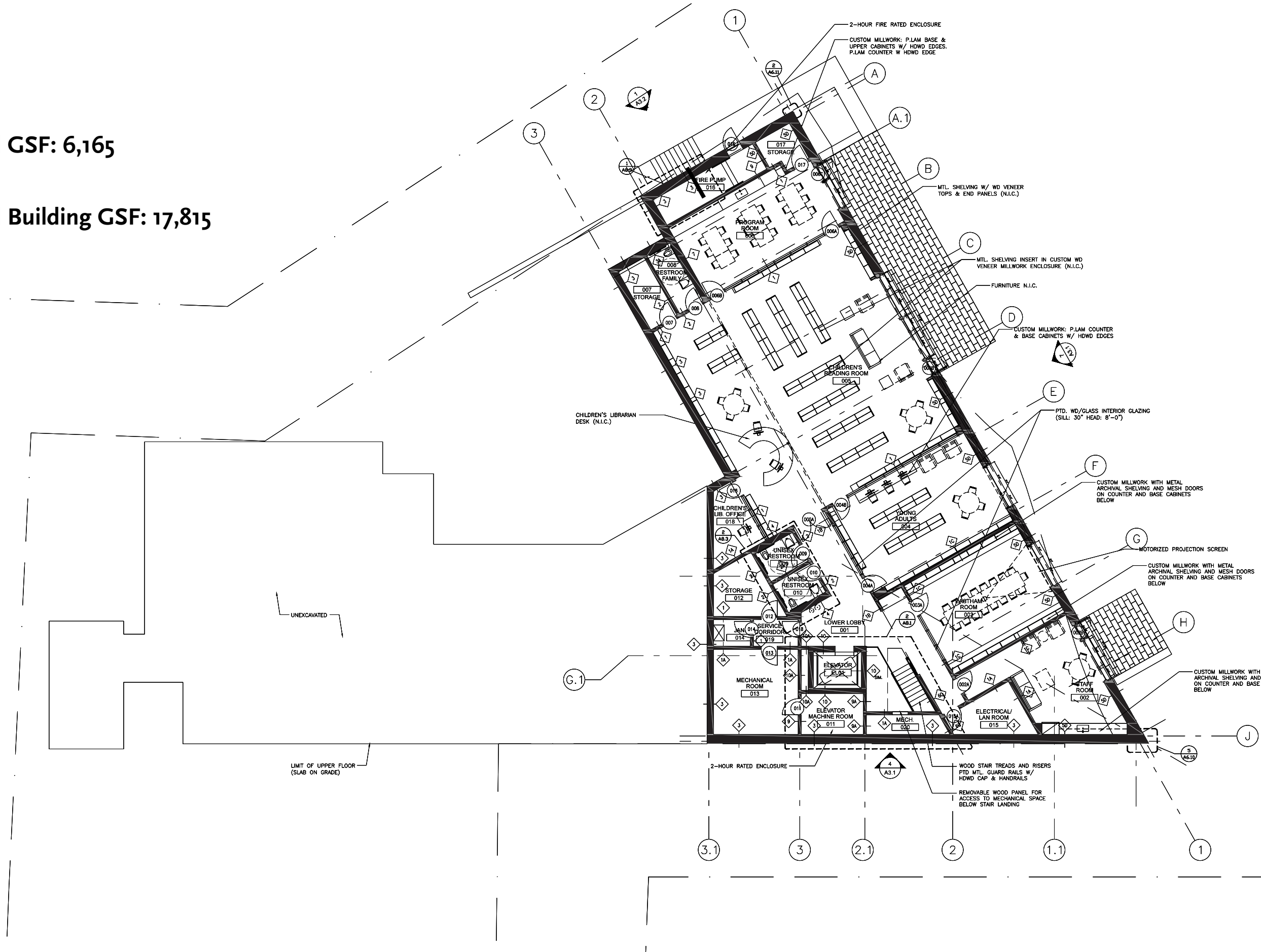
Total GSF: 11,650



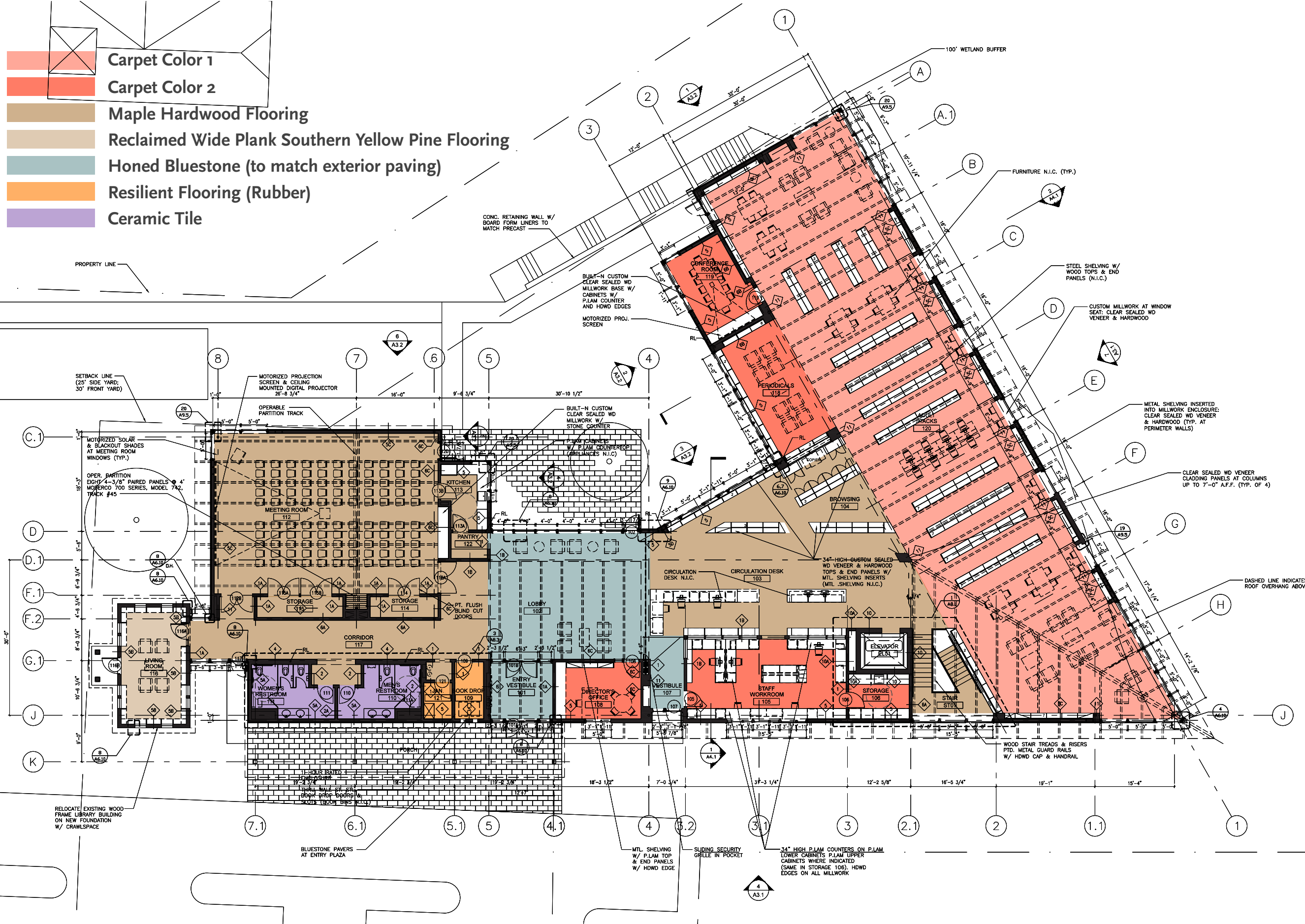


Total GSF: 6,165






Total Building GSF: 17,815

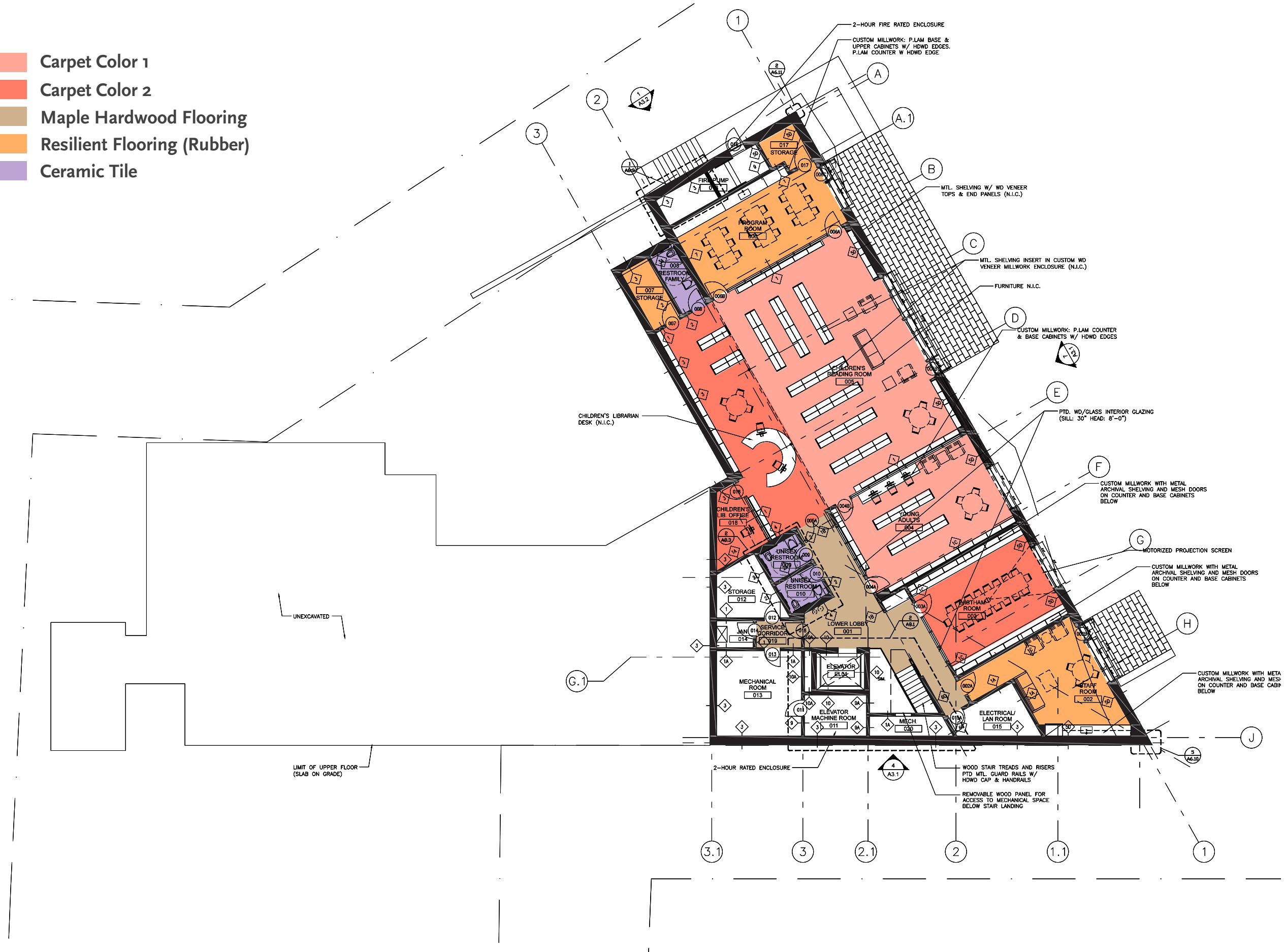






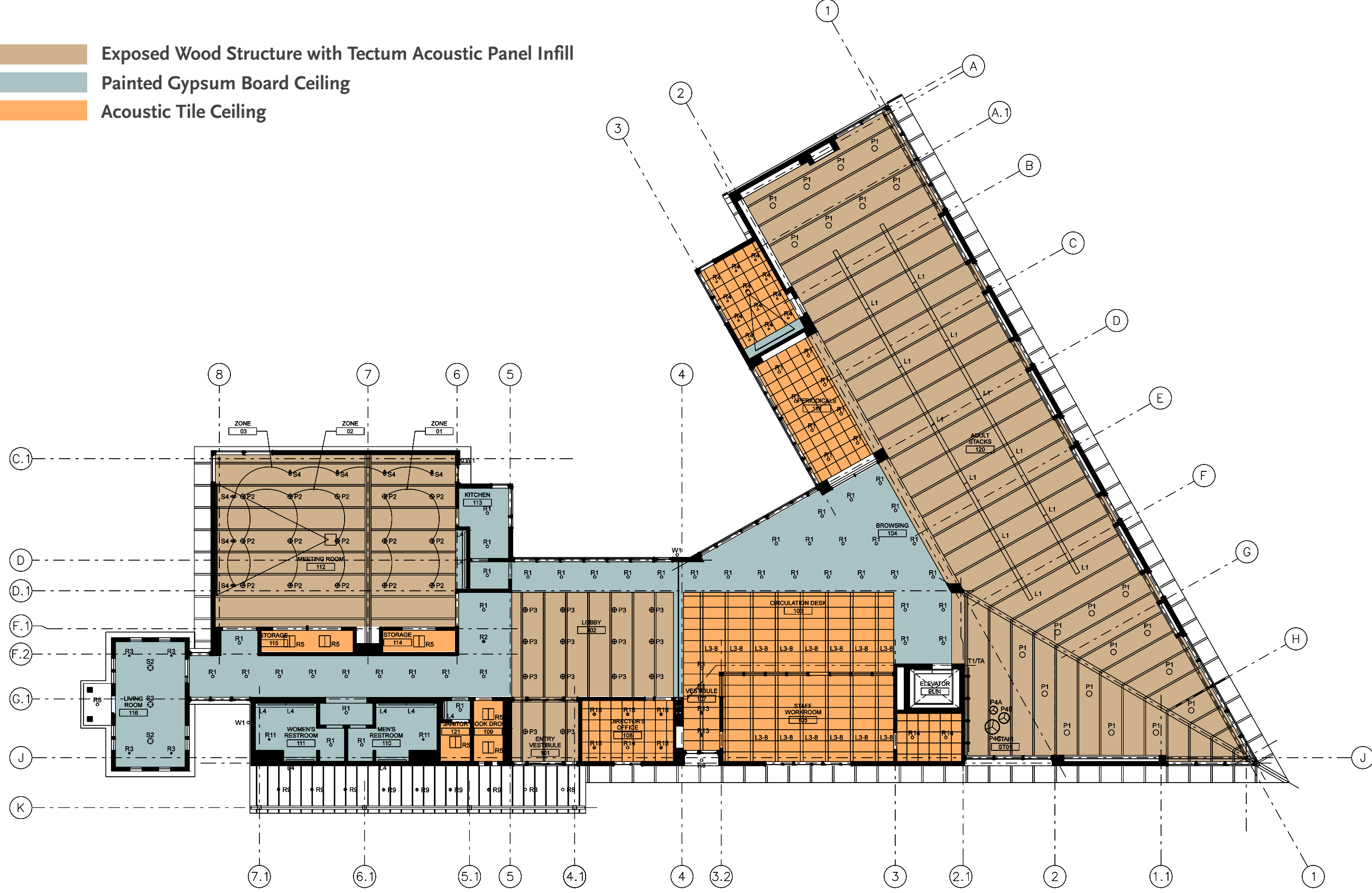


-  Carpet Color 1
-  Carpet Color 2
-  Maple Hardwood Flooring
-  Resilient Flooring (Rubber)
-  Ceramic Tile





- Exposed Wood Structure with Tectum Acoustic Panel Infill
- Painted Gypsum Board Ceiling
- Acoustic Tile Ceiling



Upper Level Reflected Ceiling Plan







Painted Gypsum Board Ceiling

Acoustic Tile Ceiling



Lower Level Reflected Ceiling Plan







Aerial View from North



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Aerial View from South







**Proposed Exterior View from Samoset Road**



Eastham Public Library 06.16.15 Friends Presentation  
**Oudens Ello** Architecture





**Proposed Exterior View from Parking**







Interior View of Meeting Room







Interior View of Meeting Room







**Interior View of Adult Stacks**







Interior View of Adult Stacks







**Proposed Exterior View from Lower Level**







Exterior Materials



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Oudens Ello Architecture





# LEED v3 for New Construction and Major Renovations Project Scorecard

Project: Eastham Public Library

Address: 190 Samoset Rd 02642

Date of Review: April 07, 2015

LEED Goal:	2.18.14: As high as possible within budget tolerance
Bldg area:	19,947sf (per model calcs)
Parking:	51 spaces
Site Area:	82,000sf Assume LEED boundary will include entire parcel.
FTE:	9 total (5 staff & 4 Volunteers/day) based on 7 staff & 57 volunteer total
Visitors:	35,340 annual users - TGE assumes 100/day average

## Color Legend

COMPLETE Design Phase Items
OUTSTANDING Design Phase Items
Construction Phase Items - No Design Phase Action Required
Credits not attempted by project

## TOTALS

Yes	M+	M-	No
56	5	11	38

Certified: 40-49 points Silver: 50-59 points Gold: 60-79 points Platinum: 80+ points

## GENERAL PROJECT DOCUMENTATION

			Responsible	Notes & Status
Y	PI form 1	Minimum Program Requirements	Required Eastham	Need to confirm Energy Star Portfolio Manager will be used by Eastham. See 3.19.15 email. 2.18.14 Eastham committed to share energy & water use data w/ USGBC for the first 5 years. TGE distributed MPR package.
Y	PI form 2	Project Summary Details	Required Team	Posted: 19,947sf total; 336sf existing; 60,965sf site; 51 parking spaces. NEED: hardscape area & project budget
Y	PI form 3	Occupant Usage Data	Required Team	Posted: 9 FTE; 100 avg visitors, 80 peak; Space usage table completed per EAp2/EQp1
Y	PI form 4	Schedule and Overview Documents	Required Team	Posted: Int/ext renderings; Elevations & Sections; HVAC plans & Schedule; Site plan; rep fl plans. NEED architectural narrative & schedule

Yes	M+	M-	No
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15	1	0	10
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## SUSTAINABLE SITES

26 Responsible

			Responsible	Notes & Status
Y	Prereq 1	Construction Activity Pollution Prevention	Required Nauset	REQUIRED: ESC plan shown on C1.1 within Bid set (6.16.14), current spec includes 312500 Sedimentation and Erosion Control requirements. CM must implement and provide photo documentation indicating compliance.
	Credit 1	Site Selection	1 n.a.	3.12.15: Will attempt alt compliance explaining development has been pulled further from wetland 3.14.14: Moved to 'No'. Building within 100ft of wetland area
	Credit 2	Development Density and Community Connectivity	5 n.a.	Internet survey appears to show that site area does not meet density or connectivity requirements
	Credit 3	Brownfield Redevelopment	1 n.a.	3.12.15: Nauset confirmed no significant remediation required on site.
6	Credit 4.1	Alternative Transportation - Public Transportation Access	6 Owner/TGE	COMPLETE: Documented "Flex" line of the Cape Cod RTA (www.capecodrtat.org) & P&B bus (4x daily) stops 1265' from building entrance.
	Credit 4.2	Alternative Transportation - Bicycle Storage and Changing Rooms	1 n.a.	Project does not comply. No shower or bike storage shown in set. 2.18.14 Limited interest in shower in project. Bike storage will be provided.
3	Credit 4.3	Alternative Transportation - Low-Emitting and Fuel-Efficient Vehicles	3 Nitsch/Eastham	COMPLETE: 3 preferred LEFE parking spaces provided in L1.0 for 5.8%. 2.18.14: Library Cmte approved providing preferred parking spaces.
2	Credit 4.4	Alternative Transportation - Parking Capacity	2 Nitsch/Eastham	COMPLETE: 3 carpool parking spaces provided in L1.0 with signage detail.
1	Credit 5.1	Site Development - Protect or Restore Habitat	1 CBA	Compliant field grass & existing tree areas = ~25,000sf > footprint (11,685sf) or 20% of site (16,400sf)
1	Credit 5.2	Site Development - Maximize Open Space	1 CBA/TGE/Eastham	Posted: The project has provided 26,342.83 sf of vegetated open space, 43% of site. This is enough for EP. NEED: Owner to sign off on preserving open space for life of building.
1	Credit 6.1	Stormwater Design - Quantity Control	1 Nitsch	3.18.15: Reached out to Nitsch. 3.14.14: Moved to 'Yes'. Nitsch confirming that runoff quantity will be reduced by 100%
1	Credit 6.2	Stormwater Design - Quality Control	1 Nitsch	3.18.15: Reached out to Nitsch. 3.14.14: Moved to 'Yes'. Nitsch confirming that 100% of the water will be treated with BMPs on-site.
	Credit 7.1	Heat Island Effect - Nonroof	1 n.a.	3.14.14: Permeable pavers and concrete no longer in project. Moved to 'No'
	Credit 7.2	Heat Island Effect - Roof	1 n.a.	6.24.14: Moved to 'No'. OEA suggested forgoing credit to select products that fit within the project color palette.
	Credit 8	Light Pollution Reduction	1 LAM/TMP	Analyzing final lighting design against requirements; Deferred to Construction Phase

Yes	M+	M-	No
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8	0	0	2
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## WATER EFFICIENCY

10 Responsible

			Responsible	Notes & Status
Y	Prereq 1	Water Use Reduction - 20% minimum	Required TMP	COMPLETE. Final water use reduction = 41.15%. Fixtures include: WC: 1.28 gpf; U: 0.125 gpf; Lav: 0.07gpc; kitchen: 0.5 gpm
4	Credit 1	Water Efficient Landscaping - Reduce by 50%, No Irrigation	4 CBA	COMPLETE: Confirmed no permanent irrigation and appropriate fixture selection
	Credit 2	Innovative Wastewater Technologies	2 n.a.	3.18.15: Reached out to Nitsch. Option 2: 3.14.14: Remains 'M-' pending Nitsch review of nutrient removal reqs of zoning. Treating to tertiary standards involves extra filtration or biological activity to remove nutrient pollutant and it may also involve disinfection
4	Credit 3	Water Use Reduction - 30% (2), 35% (3), 40% (4)	4 TMP	See WEp1 - Eligible for all four points.

Yes	M+	M-	No
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12	0	9	14
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## ENERGY & ATMOSPHERE

35 Responsible

			Responsible	Notes & Status
Y	Prereq 1	Fundamental Commissioning of Building Energy Systems	Required SBS	REQUIRED: Frank Baldino @ Strategic Building Solutions is CxA. Scope includes both fundamental & enhanced Cx services. SBS to follow up with team with OPR sample language per 9.30 meeting. 12.17.14 - TGE has received final OPR doc from OEA. Ready for use.
Y	Prereq 2	Minimum Energy Performance	Required TMP/OEA	COMPLETE: Project will demonstrate compliance using an energy model computer simulation. Baseline is ASHRAE 90.1-2007
Y	Prereq 3	Fundamental Refrigerant Management	Required TMP	COMPLETE: Compliant refrigerants have been specified
9	Credit 1	Optimize Energy Performance	19 TGE	COMPLETE: Model shows 2809% energy cost savings = 8 points. Additional points possible if renewable are included
	Credit 2	On-Site Renewable Energy	7 Eastham	Team could assign already installed PV on school, DPW & landfill to library project. Since PPA Eastham would have to buy back RECs for 10years to be eligible. 4.7.15 - Team to confirm with GBCI that the intended approach will be accepted for LEED purposes.
2	Credit 3	Enhanced Commissioning	2 SBS	6.5.14: SBS conducted design review. Design team responded. 5.13.14
	Credit 4	Enhanced Refrigerant Management	2 TMP	Experience has shown that VRF systems do not meet credit requirements due to relatively high refrigerant charge per ton cooling capacity.
1	Credit 5	Measurement and Verification	3 Eastham	Carried 1 point as 'Yes' for ENERGYSTAR Portfolio Manager sharing to satisfy MPR. No current interest in full M&V plan.
	Credit 6	Green Power, 35% for 2 years	2 Eastham	Not a design decision. Eastham could purchase RECs to be eligible for credit. Assume ~\$200 total @ \$.0019 (134,719kWh/yr total)

Yes	M+	M-	No
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4	1	1	8
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## MATERIALS & RESOURCES

14 Responsible

			Responsible	Notes & Status
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## LEED v3 for New Construction and Major Renovations Project Scorecard

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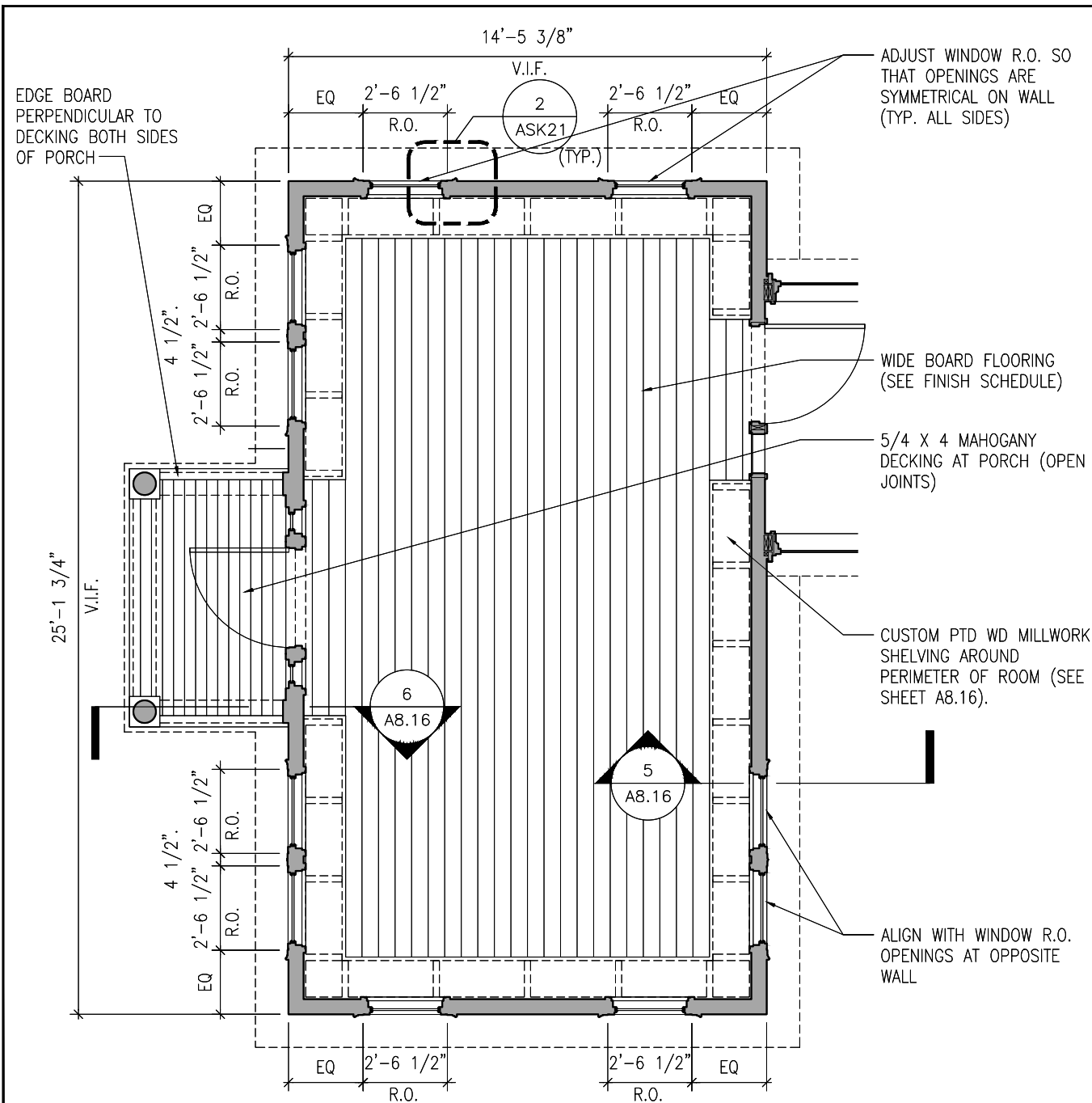
### GENERAL PROJECT DOCUMENTATION

Responsible

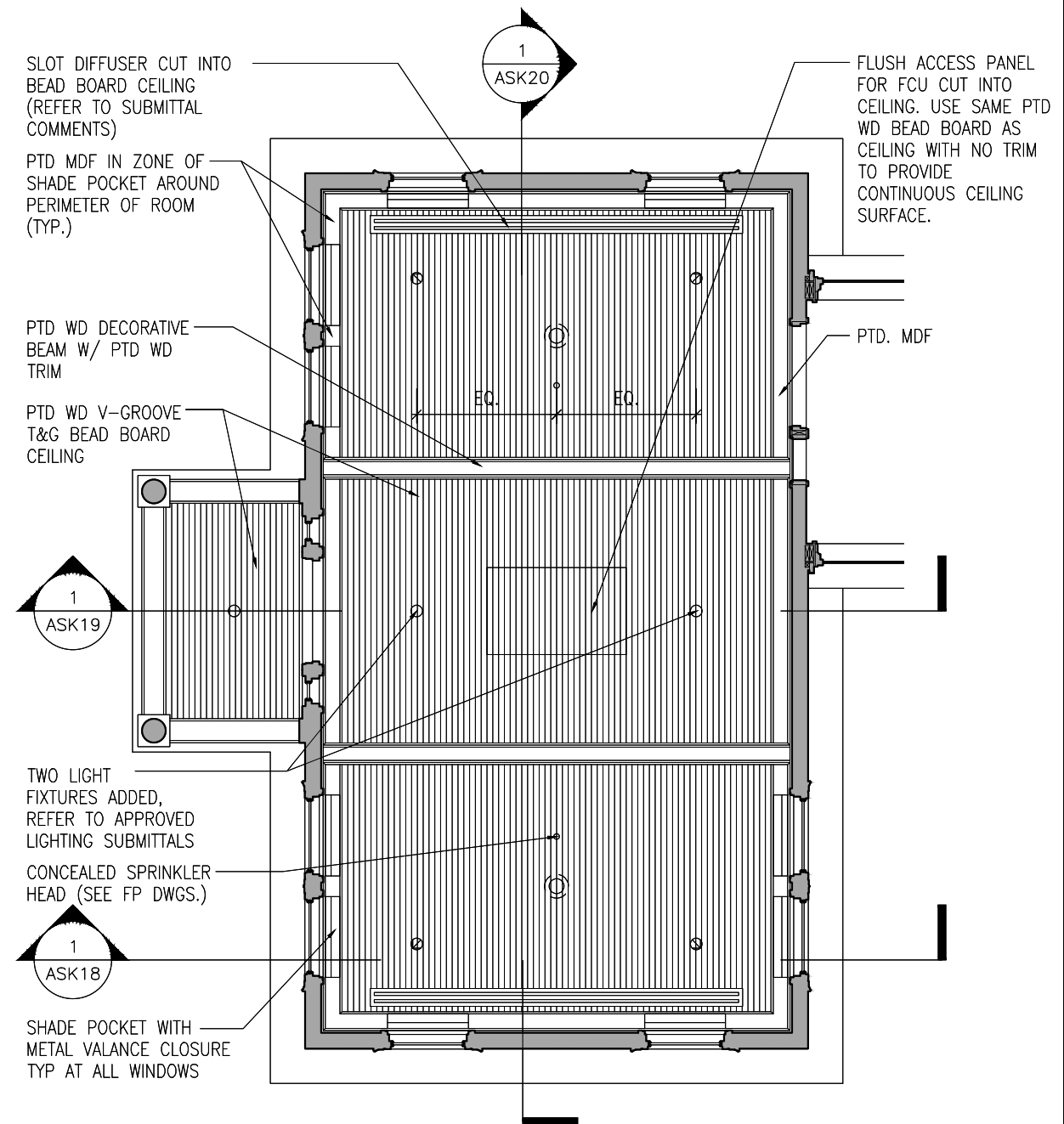
Y	PI form 1	Minimum Program Requirements	Required	Eastham	Need to confirm Energy S
Y	PI form 2	Project Summary Details	Required	Team	Posted: 19,947sf total; 33
Y	PI form 3	Occupant Usage Data	Required	Team	Posted: 9 FTE; 100 avg vi
Y	PI form 4	Schedule and Overview Documents	Required	Team	Posted: Int/ext renderings

COMPLETE Design Phas  
OUTSTANDING Design P  
Construction Phase Items  
Credits not attempted by p





2 ENLARGED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



1 ENLARGED REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

Eastham Public Library  
Eastham, Massachusetts

Oudens Ello Architecture, LLC  
46 Waltham Street, Suite 210, Boston, MA 02118  
T 617.422.0980 F 617.422.0981

Sheet Title:

Living Room: Enlarged Plans

Sheet No.:

ASK 16

Date: 06.12.2015

Drawn: ALL

Scale: AS NOTED

Checked: MO

Document Ref.: ASI #2

Dwg Ref.:

A5.12









Shutesbury Library Interior



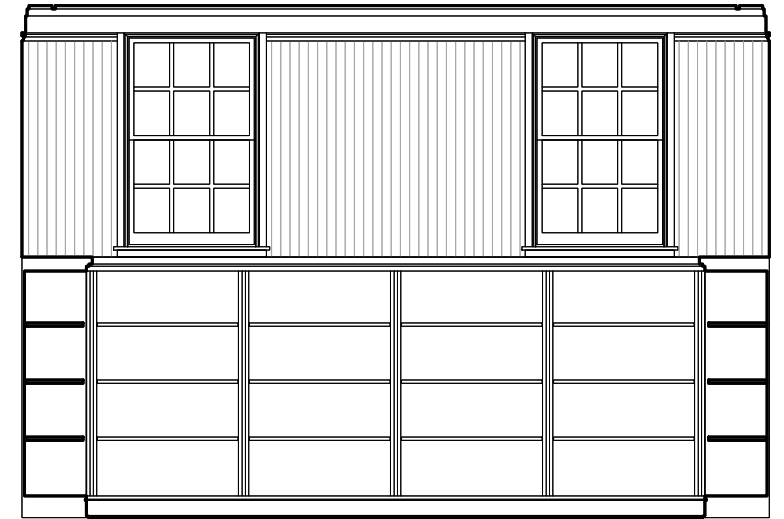
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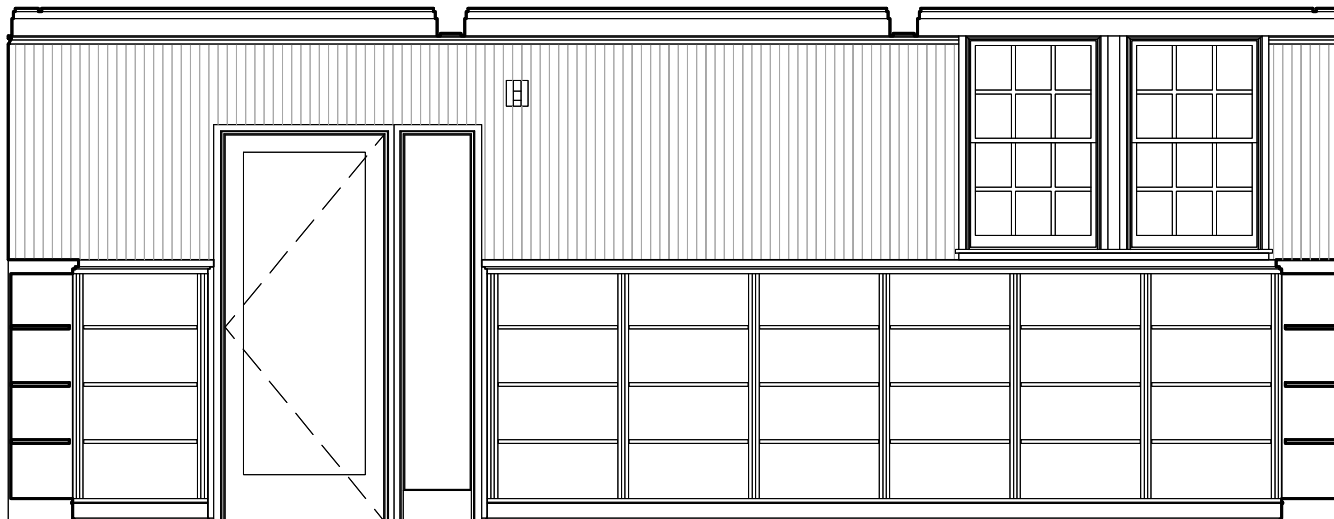




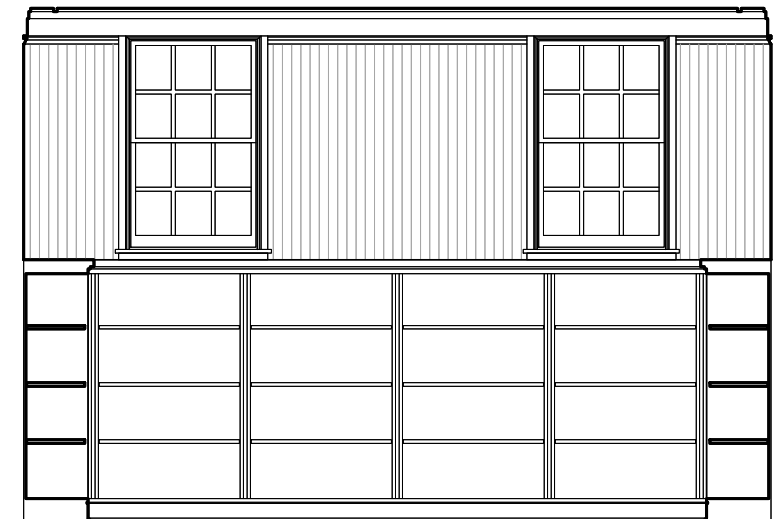
4 116-LIVING ROOM INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



3 116-LIVING ROOM INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

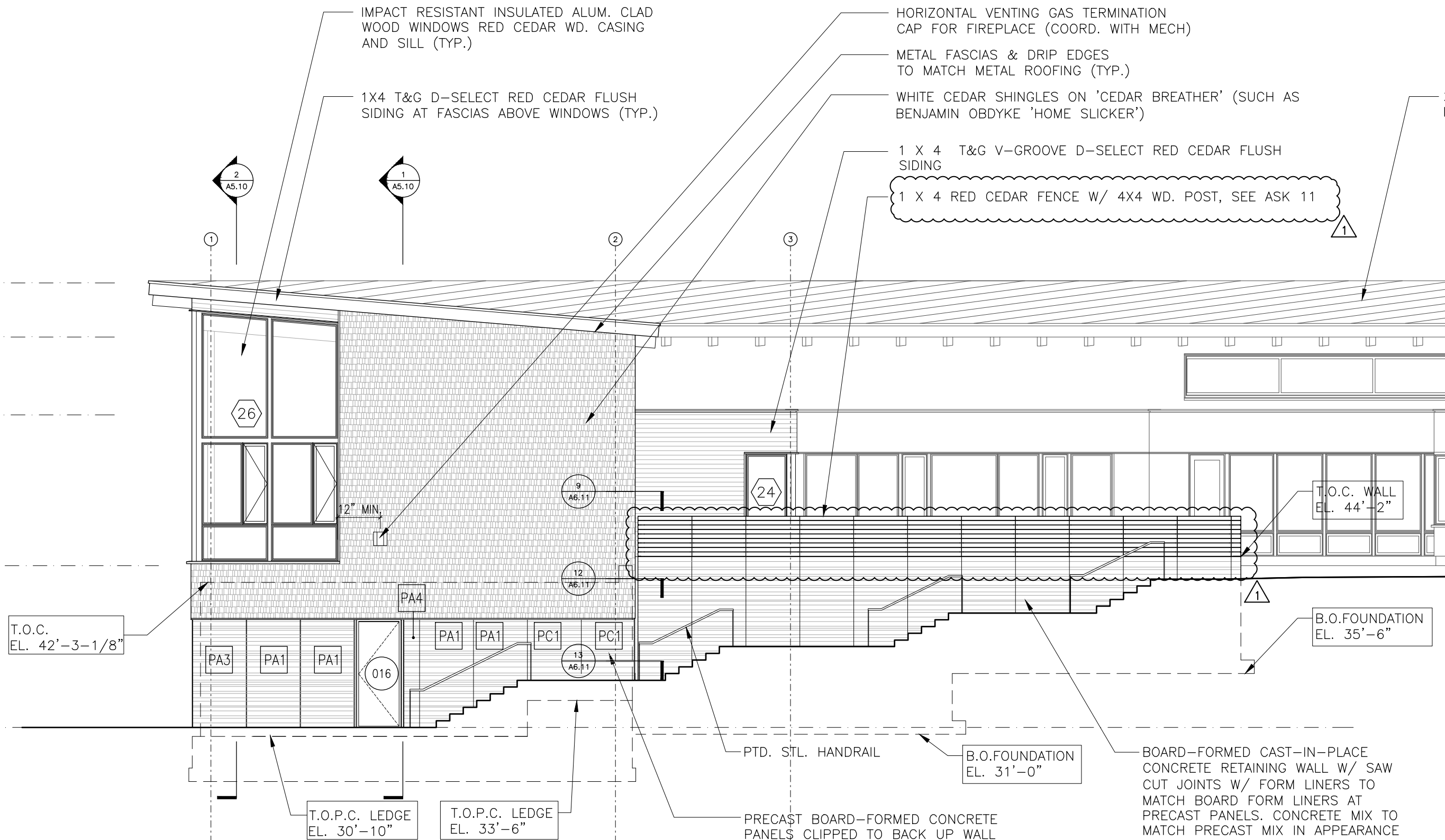


2 116-LIVING ROOM INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

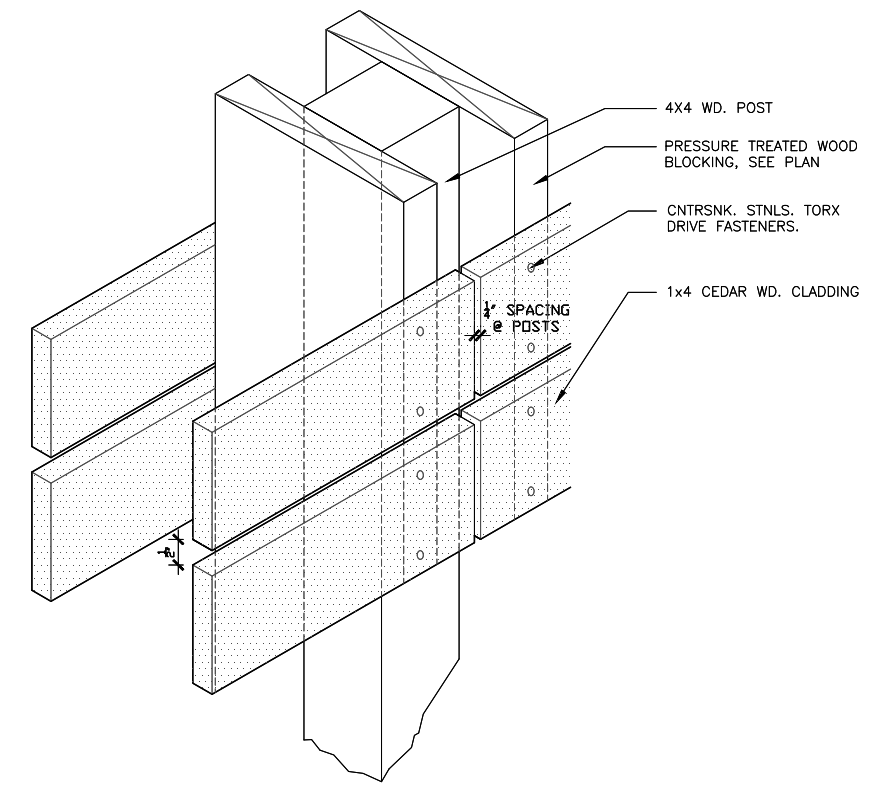
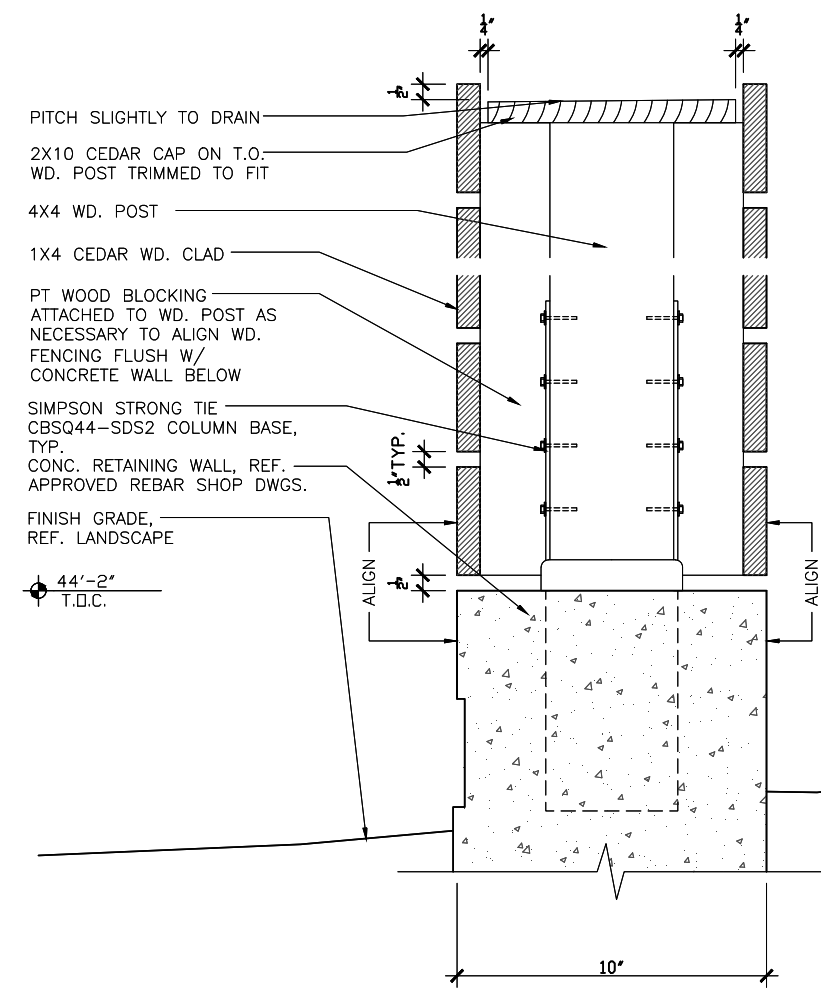


1 116-LIVING ROOM INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

































**Construction Progress: Foundation Work**



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**Oudens Ello** Architecture

















**Proposed Exterior View from Samoset Road**



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**Oudens Ello** Architecture





Construction Progress: Under Slab Plumbing



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Oudens Ello Architecture





**Construction Progress: Lower Level Slab on Grade**



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**Oudens Ello** Architecture





Oudens Ello Architecture