

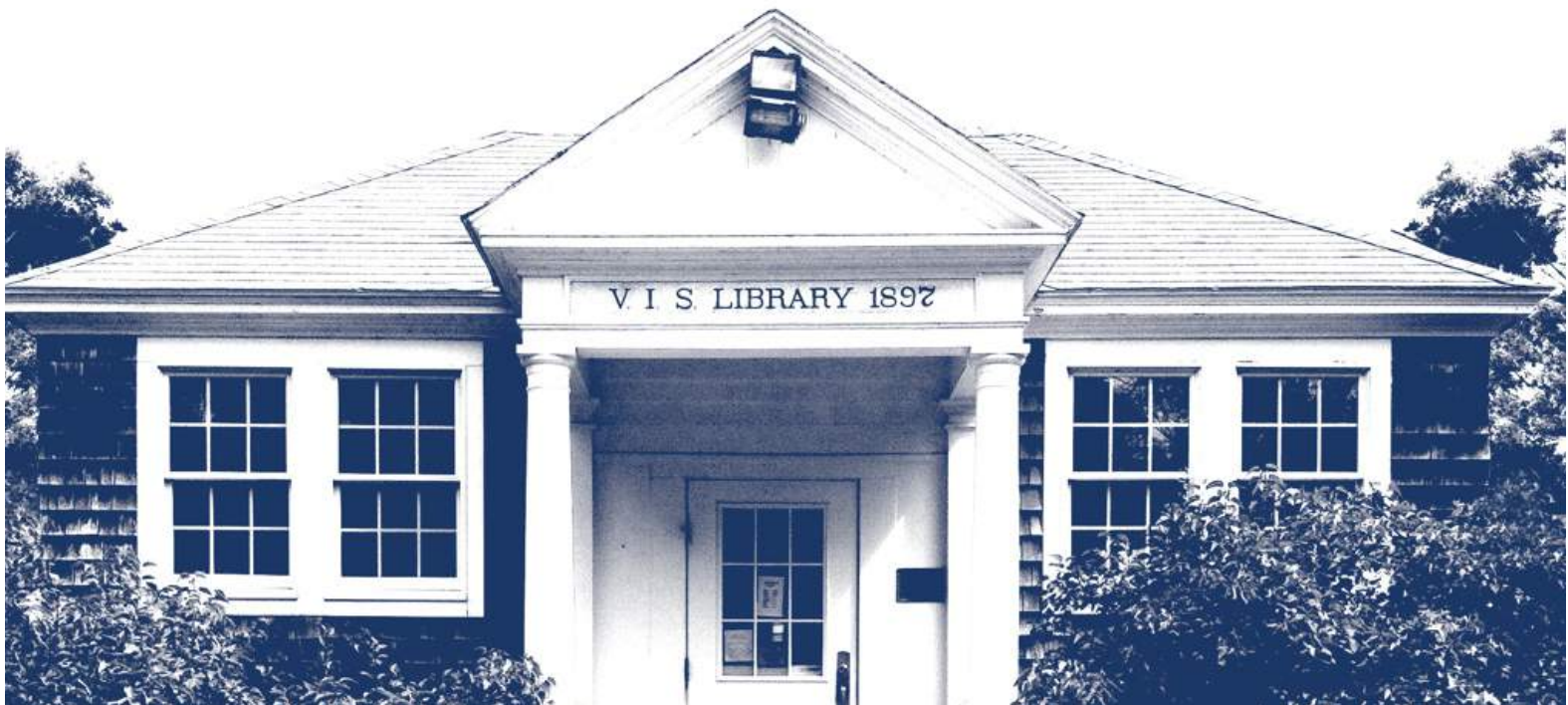
Eastham Public Library

Eastham, Massachusetts

Project Meeting #14

April 2, 2014

Oudens Ello Architecture





LEED v3 for New Construction and Major Renovations Project Matrix

Project Name: Eastham Public Library
Project Location: 190 Samoset Rd 02642
Date of Review: March 14, 2014

General Notes

Matrix has been updated as a result of 3.14.14 mtg with OEA, TMP & Nitsch

LEED Project Numbers

LEED Goal:	2.18.14: As high as possible within budget tolerance
Bldg area:	17,934sf (per initial model calcs)
Parking:	51 spaces
Site Area:	82,000sf Assume LEED boundary will include entire parcel.
FTE:	2.18.14-TGE assumes 9 total (5 staff & 4 Volunteers/day) based on 7 staff & 57 volunteer total
Visitors:	2.18.14: 35,340 annual users - TGE assumes 100/day

Current Score

Yes	M+	M-	No
50	23	12	25

Current Tracking Level: Silver

GENERAL PROJECT DOCUMENTATION

Abridged Requirements

Resp. Party

Notes & Status

Y				PI form 1	Minimum Program Requirements	Required	The owner must confirm the project meets the Minimum Program Requirements AND commit to sharing whole-building energy and water usage data with USGBC for 5 years.	Eastham	REQUIRED: 2.18.14 Eastham committed to share energy and water use data with the USGBC for the first 5 years. TGE distributed MRP package
Y				PI form 2	Project Summary Details	Required	Team must provide general information on project size, site characteristics and energy & water sources	Team	REQUIRED: Team must provide general information on project size, site characteristics and energy & water sources
Y				PI form 3	Occupant Usage Data	Required	Team must provide general information on occupancy and space usage	Team	REQUIRED: Team must provide general information on occupancy and space usage
Y				PI form 4	Schedule and Overview Documents	Required	Team must provide general information schedule AND provide overview documents and narratives	Team	REQUIRED: Team must provide general information schedule and provide overview documents and narratives

Yes	M+	M-	No
15	3	0	8

SUSTAINABLE SITES

26

Abridged Requirements

Resp. Party

Notes & Status

C	Y			Prereq 1	Construction Activity Pollution Prevention	Required	Create and implement an Erosion and Sedimentation Control (ESC) Plan for all construction activities associated with the project. The ESC Plan shall conform to the erosion and sedimentation reqs. of the 2003 EPA Construction General Permit OR local Erosion and Sedimentation Control standards and codes, whichever is more stringent. Provide date-stamped photos showing and narrative confirming implementation.	Nitsch/GC	REQUIRED: Limited ESC information in drawing set. Spec includes 312500 Sedimentation and Erosion Control requirements. CM must implement and document compliance
			1	Credit 1	Site Selection	1	Do not develop buildings, landscapes, roads or parking areas on portions of sites that meet any of the following criteria: - Prime farmland as defined by the American Farmland Trust, - previously undeveloped land whose elevation is lower than 5 feet above the elevation of the 100-year flood as defined by FEMA, - Land that is specifically identified as habitat for any species on the Federal or State threatened or endangered list, -Within 100 feet of any wetland as defined by 40 CFR, Parts 230-233 and Part 22, OR as defined by local or state rule or law, whichever is more stringent, -previously undeveloped land that is within 50 feet of a water body which support or could support fish, recreation or industrial use, consistent with the terminology of the CWA, - Land which prior to acquisition for the project was public parkland, unless land of equal or greater value as parkland is accepted in trade by the public landowner.	n.a.	3.14.14: Moved to 'No'. Building within 100ft of wetland area
			5	Credit 2	Development Density and Community Connectivity	5	Construct or renovate building on a previously developed site and in a community with a minimum development density of 60,000 square feet per acre (2 story downtown development). OR Construct or renovate building on a previously developed site AND within 1/2 mile of a residential zone or neighborhood with an average density of 10 units/acre net AND within 1/2 mile of at least 10 Basic Services AND with pedestrian access between the building and the services.	n.a.	Internet survey appears to show that site area does not meet density or connectivity requirements
		1		Credit 3	Brownfield Redevelopment	1	Projects can only obtain this point by remediating a site documented as contaminated by means of an ASTM E1903-97 Phase II Environmental Site Assessment or a local voluntary cleanup program OR as defined as a brownfield site by a local, state or federal government agency	Env Eng	3.14.14: Nitsch informed that there was an oil release in parking area at some point. Showing compliance may prove difficult. Carried as 'Maybe', based on possible contamination within existing building
	6			Credit 4.1	Alternative Transportation - Public Transportation Access	6	Locate with 1/2 mile of a existing or planned commuter rail, light rail or subway station OR 1/4 mile of 2 or more bus lines.	Team	2.18.14: Library Cmte confirmed that the "Flex" line of the Cape Cod Regional Transit Authority (www.capecodcta.org) & P&B bus (4x daily) stops within 1/4mi of project. Stop is 1265' from building entrance.
			1	Credit 4.2	Alternative Transportation - Bicycle Storage and Changing Rooms	1	Provide secure bike racks and/or storage (within 200 yards of building entrance) for 5% or more of all building users (measured at peak periods). AND provide shower and changing facilities in the building, or within 200 yards of a building entrance, for 0.5% of FTE occupants.	n.a	Project does not comply. No shower or bike storage shown in set. 2.18.14 Limited interest in shower in project. Bike storage will be provided. Library connects to bike path network.
	3			Credit 4.3	Alternative Transportation - Low-Emitting and Fuel-Efficient Vehicles	3	Provide preferred parking for low emitting and fuel-efficient vehicles for 5% of the total vehicle parking capacity of the site. Providing a discounted parking rate is an acceptable substitute for preferred parking for low-emitting/fuel efficient vehicles. The parking rate must be discounted a minimum of 20%. The discounted rate must be available to all customers and publicly posted at the entrance to the parking area and available for a minimum of 2yrs.	Nitsch/Eastham	2.18.14: Library Cmte approved providing preferred parking spaces.
	2			Credit 4.4	Alternative Transportation - Parking Capacity	2	Option 1: Size parking capacity not to exceed minimum local zoning requirements AND provide preferred parking for carpools or vanpools capable of serving 5% of the total provided parking spaces. OR Option 2: For projects that provide parking for less than 5% of FTE building occupants - provide preferred parking for carpools or vanpools for 5% of total parking spaces, (a discounted parking rate is acceptable see SS04.3 for details). OR Option 3: Provide no new parking.	Nitsch/Eastham	3.14.14: Nitsch will locate 3 LEFE parking spaces in preferred locations, and include signage detail. Possibility to add a 6 combined LEFE & HOV spaces to satisfy SS04.3 & SS04.4 together.
C	1			Credit 5.1	Site Development - Protect or Restore Habitat	1	On greenfield sites, limit disturbance including earthwork and clearing of vegetation to 40 feet beyond the building perimeter. 10 feet beyond surface walkways, patios, surface parking and utilities less than 12 inches in diameter; 15 feet beyond primary roadway curbs, walkways, and main utility branch trenches, and 25 feet beyond previous paving areas that require additional staging areas in order to limit compaction in the paved areas; OR, on previously developed sites, restore a minimum of 50% of the site (excluding bldg footprint) or 20% of the total site area (including footprint), whichever is greater, with native or adapted vegetation.	CBA	Field grass and existing tree areas = ~25,000sf which is greater than footprint or 20% of site site: 82,000sf * 20% = 16,400sf footprint: ~12,000sf
		1		Credit 5.2	Site Development - Maximize Open Space	1	Reduce the development footprint (including building, access road and parking) and/or provide vegetated open space within the project boundary to exceed the local zoning's open space requirement for the site by 25% OR for areas with no local zoning reqs. provide vegetated open space area adjacent to the building that is equal to the building footprint. OR where a zoning ordinance exists, but there is no requirement for open space (zero), provide vegetated open space equal to 20% of the project's site area.	CBA	Achievement seems likely, but review of Eastham zoning shows no open space requirement for municipal buildings. Need a better understanding of open space requirements to determine compliance path.
	1			Credit 6.1	Stormwater Design - Quantity Control	1	If imperviousness is less than 50% No net increase in the rate and quantity of stormwater runoff from existing to developed conditions; OR implement plan that protects receiving stream channels from excessive erosion by implementing a stream channel protection strategy and quantity control strategies. OR, if existing imperviousness is greater than 50%, implement a stormwater management plan that results in a 25% decrease in the rate and quantity of stormwater runoff.	Nitsch	3.14.14: Moved to 'Yes'. Nitsch confirming that runoff quantity will be reduced by 100%
	1			Credit 6.2	Stormwater Design - Quality Control	1	Reduce impervious cover, promote infiltration, and capture and treat stormwater from 90% of the avg annual rainfall using acceptable BMPs capable of removing 90% of the avg annual post development total suspended solids (TSS) load based on existing monitoring reports.	Nitsch	3.14.14: Moved to 'Yes'. Nitsch confirming that 100% of the water will be treated with BMPs on-site. Additional Regional Priority credit for SS06.2 moved to 'Yes' as well.

LEED Score Card



Eastham Public Library 04.02.14 Project Meeting #14
Oudens Ello Architecture



LEED v3 for New Construction and Major Renovations Project Matrix

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Project Location: 190 Samoset Rd 02642
Date of Review: March 14, 2014

Matrix has been updated as a result of

Current Score

Yes	M+	M-	No
50	23	12	25

Current Tracking Level: Silver

Need 10 of these 23 points to achieve Gold

GENERAL PROJECT DOCUMENTATION

D	Y
D	Y
D	Y
D	Y

PI form 1	Minimum Program Requirements	Required	The owner must confirm the project meets water usage data with USGBC for 5 years.
PI form 2	Project Summary Details	Required	Team must provide general information on
PI form 3	Occupant Usage Data	Required	Team must provide general information on
PI form 4	Schedule and Overview Documents	Required	Team must provide general information sch

Yes	M+	M-	No
15	3	0	8

SUSTAINABLE SITES

26

C	Y	Prereq 1	Construction Activity Pollution Prevention	Required	Create and implement an Erosion and Sedimentation Control Plan. The ESC Plan shall conform to the erosion and sedimentation control standards and narrative confirming implementation.
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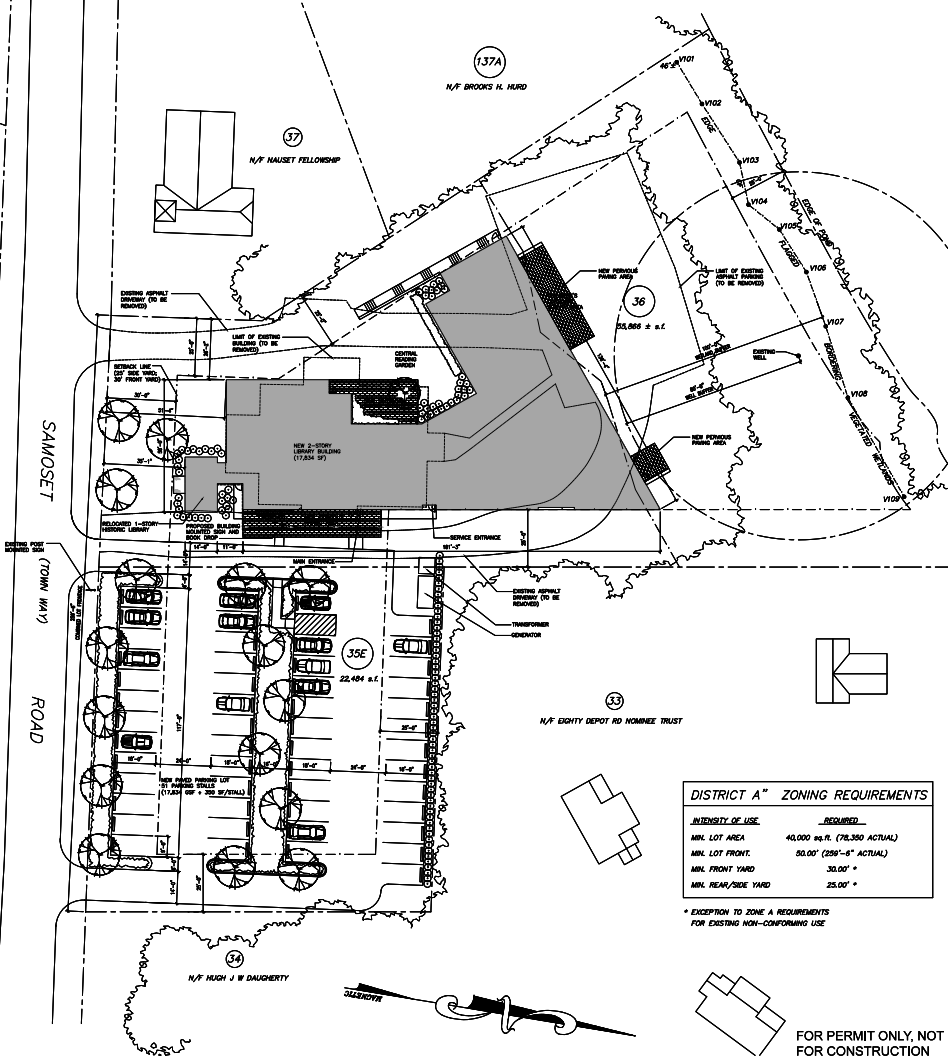
EGRESS OCCUPANCY			
UPPER LEVEL FUNCTION	AREA SF	FACTOR SF/OCC	OCCUPANCY LOAD
READING AREA	1,680	50 SF/OCC	34
ASSEMBLY	618	15 SF/OCC	41
MEETING ROOM	1,360	"	120
STACKS	2,810	100 SF/OCC	27
BUSINESS	3,840	100 SF/OCC	40
STORAGE / MEP	220	300 SF/OCC	1
TOTAL			263

LOWER LEVEL FUNCTION			
UPPER LEVEL FUNCTION	AREA SF	FACTOR SF/OCC	OCCUPANCY LOAD
READING AREA	230	50 SF/OCC	5
ASSEMBLY	1,174	15 SF/OCC	79
YOUNG ADULTS	975	"	12
STACKS	685	100 SF/OCC	6
BUSINESS	2,300	100 SF/OCC	23
STORAGE / MEP	1,085	300 SF/OCC	4
TOTAL			129

** SEATING COUNT USED SINCE HIGHER THAN AREA VALUE

PLUMBING FIXTURE COUNT					
OCCUPANT LOAD	PLUMBING UNITS	FACTOR	REQUIRED FIXTURES	TOTAL REQ. FIXTURES	
PUBLIC (183 M / 183 F)	TOILETS	FEMALE PUBLIC 1:50	(3.66) = 4		5
		FEMALE STAFF 1:20	(9.15) = 1		
		MALE PUBLIC 1:100	(1.83) = 2		
STAFF (75 F / 75 M)	LAVATORIES	FEMALE PUBLIC 1:200	(0.87) = 1		2
		FEMALE STAFF 1:40	(0.00) = 1		
		MALE PUBLIC 1:200	(0.87) = 1		
DRAWING	1 PER FLOOR	UPPER = 1	LOWER = 1		2
		UPPER = 1	LOWER = 1		

BUILDING CODE COMPLIANCE SUMMARY			
USE GROUP	GROUP A-3, ASSEMBLY, AND ACCESSORY GROUP B, BUSINESS AND GROUP S-1, MODERATE HAZARD STORAGE		
CONSTRUCTION TYPE	TYPE VLS UNPROTECTED COMBUSTIBLE (FULLY SPRINKLERED BUILDING)		
ALLOWABLE HEIGHT	2 STORIES (60')	ACTUAL HEIGHT	2 STORIES (27') (ABOVE AVER. GRADE)
ALLOWABLE FOOTPRINT AREA	20,720 SF	ACTUAL FOOTPRINT AREA	11,637 SF
ALLOWABLE AGGREGATE AREA	41,500 SF	ACTUAL AGGREGATE AREA	17,834 SF
EGRESS CAPACITY	STAIRS: 0.20 IN/OCC	OTHER COMPONENTS: 0.15 IN/OCC	



DISTRICT A* ZONING REQUIREMENTS	
INTENSITY OF USE	REQUIRED
MIN. LOT AREA	40,000 sq. ft. (76,350 ACTUAL)
MIN. LOT FRONT	50.00' (296'-4" ACTUAL)
MIN. FRONT YARD	35.00' *
MIN. REAR/SIDE YARD	25.00' *

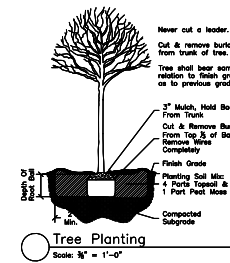
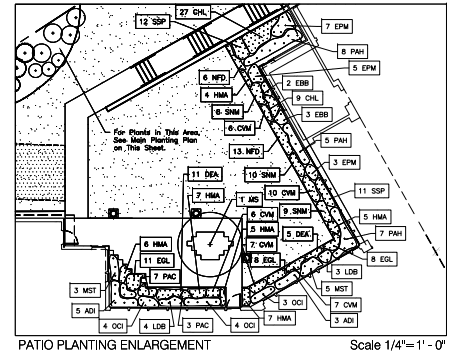
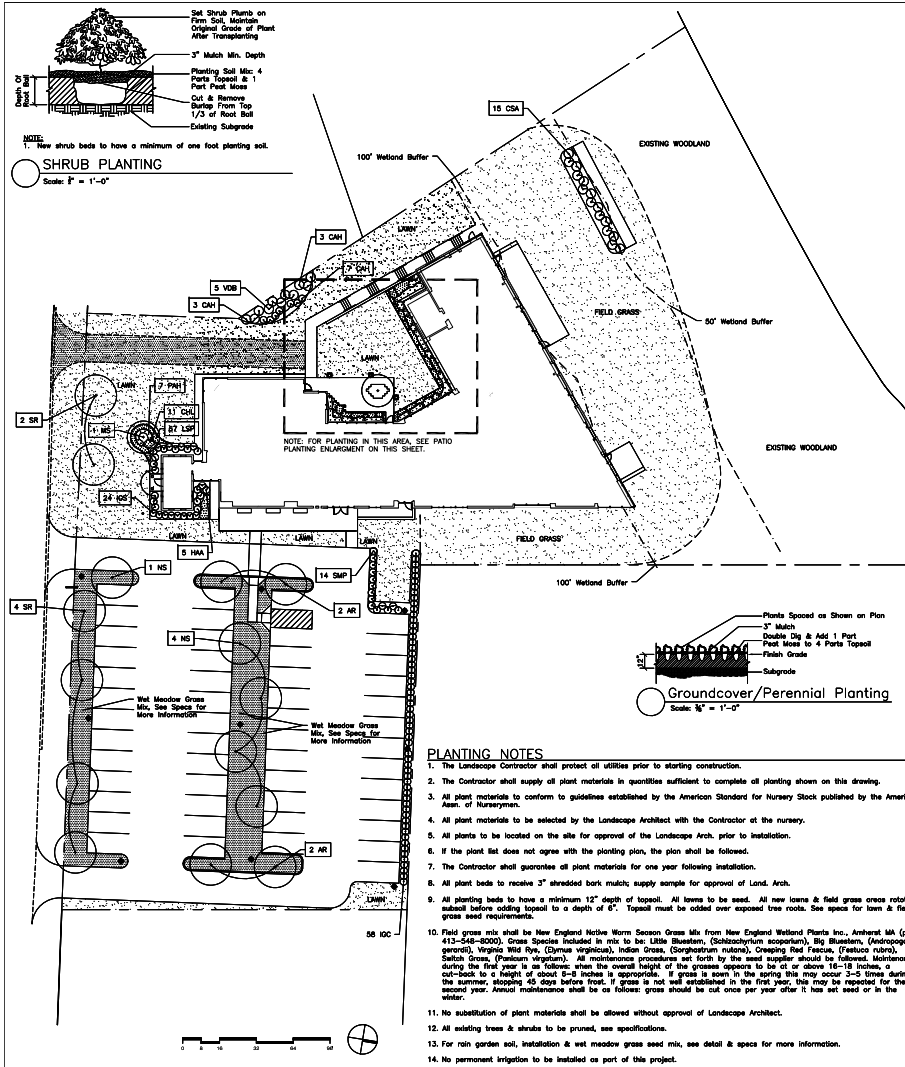
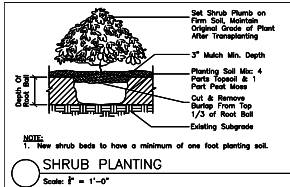
* EXCEPTION TO ZONE A REQUIREMENTS FOR EXISTING NON-COMFORMING USE

FOR PERMIT ONLY, NOT FOR CONSTRUCTION

Eastham Public Library
140 Commercial Road, Eastham, MA 02642
Cynthia E. Ely, Architect, LLC
147 Commercial Road, Eastham, MA 02642

ZONING PLAN

A 0.1



PLANTING NOTES

- The Landscape Contractor shall protect all utilities prior to starting construction.
- The Contractor shall supply all plant materials in quantities sufficient to complete all planting shown on this drawing.
- All plant materials to conform to guidelines established by the American Standard for Nursery Stock published by the American Assoc. of Nurserymen.
- All plant materials to be selected by the Landscape Architect with the Contractor at the nursery.
- All plants to be located on the site for approval of the Landscape Arch. prior to installation.
- If the plant list does not agree with the planting plan, the plan shall be followed.
- The Contractor shall guarantee all plant materials for one year following installation.
- All plant beds to receive 3" shredded bark mulch; supply sample for approval of Land. Arch.
- All planting beds to have a minimum 12" depth of topsoil. All lawns to be seeded. All new lawns & field grass areas rototill subsoil before adding topsoil to a depth of 6". Topsoil must be added over exposed tree roots. See specs for lawn & field grass seed requirements.
- Field grass mix shall be New England Native Warm Season Grass Mix from New England Wetland Plants Inc., Amherst, MA (ph. 413-548-8000). Grass Species included in mix to be: Little Bluestem, (Schizachyrium scoparium), Big Bluestem, (Andropogon gerardii), Virginia Wild Rice, (Cortus virginica), Indian Grass, (Cenchrus rubens), Creeping Red Fescue, (Festuca rubra), Switch Grass, (Panicum virgatum). All maintenance procedures set forth by the seed supplier should be followed. Maintenance during the first year is as follows: when the overall height of the grasses appears to be at or above 18-19 inches, a cut-back to a height of about 8-9 inches is appropriate. If grass is sown in the spring this may occur 3-5 times during the summer, stopping 45 days before frost. If grass is not well established in the first year, this may be repeated for the second year. Annual maintenance shall be as follows: grass should be cut once per year after it has set seed or in the winter.
- No substitution of plant materials shall be allowed without approval of Landscape Architect.
- All existing trees & shrubs to be pruned, see specifications.
- For rain garden soil, installation & wet meadow grass seed mix, see detail & specs for more information.
- No permanent irrigation to be installed as part of this project.

PLANT LIST

SYN. CITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AR	Acer rubrum	Red Maple	3 - 3 1/2" Cal.	
MS	Magnolia x soulangeana	Saucer Magnolia	24" - 3" Cal. Specimen	
NS	Nyssa sylvatica	Tupelo	3 - 3 1/2" Cal.	
SR	Syringa reticulata	Japanese Tree Lilac	3 - 3 1/2" Cal.	

SYN. CITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
CAH	Celtis occidentalis "Hummelbird"	Dwarf Summerweet	2 - 2 1/2" HL	Full & Bushy
CAH	Cornus sericea "Santini"	Red-Twig Dogwood	2 1/2 - 3" HL	Full & Bushy
HMA	Hydrangea arborescens "Annabelle"	"Annabelle" Hydrangea	2 1/2 - 3" HL	Full & Bushy
HS	Ilex glabra "Bismarck"	Compact Holly	2 - 2 1/2" HL	Full & Bushy
ISC	Ilex glabra "Compadre"	Indigo Holly	2 1/2 - 3" HL	Full & Bushy
SMP	Syringa x mayeri "Pulsilla"	Dwarf Lilac	2 1/2 - 3" HL	Full & Bushy
VSB	Viburnum dentatum "Blue Muffin"	Arrowwood Viburnum	3 - 3 1/2" HL	Full & Bushy

SYN. CITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AR	Aster divaricatus	Goldbeard	1 Gal. Pots	2" O.C. Spacing
CAH	Clematis vitalba	Northern Sea Oats	1 Gal. Pots	
CAH	Coreopsis verticillata "Moonbeam"	"Moonbeam" Tickseed	1 Gal. Pots	
CAH	Diervilla ovata "Aurea"	White-Fringed Bleeding Heart	1 Gal. Pots	
EPH	Echinacea purpurea "Milkshakes"	Double White Coneflower	1 Gal. Pots	18" O.C. Spacing
EPH	Echinacea bicolorata "Blue Cloud"	Blue Globe Thistle	1 Gal. Pots	18" O.C. Spacing
EGL	Eupatorium grandiflorum "Libellula"	Purple Broomrape	1 Gal. Pots	
LSP	Lilopsis spicata	Lilac	1 Gal. Pots	18" O.C. Spacing
LSP	Lilopsis spicata	Lilac	1 Gal. Pots	18" O.C. Spacing
MST	Mertensia sibirica	Delphinium	1 Gal. Pots	18" O.C. Spacing
NFD	Nepeta x "heavenly" "Ornamental"	Catnip	1 Gal. Pots	18" O.C. Spacing
PAH	Penstemon alpestris	Cinnamon Fern	1 Gal. Pots	18" O.C. Spacing
PAC	Polythidium schizanthoides	Christmas Fern	1 Gal. Pots	18" O.C. Spacing
SMP	Solidago nemoralis "May Night"	Purple Salvia	1 Gal. Pots	
SSP	Schizanthus scoparium	"Prairie Blues" Little Bluestem Grass	1 Gal. Pots	

Eastham Public Library
1400 Commercial Road, Eastham, MA 02642
Oudens Ello Architecture, LLC
1111 Main Street, Eastham, MA 02642
Tel: 508-255-1111
Fax: 508-255-1112
www.oudensello.com

PROGRESS PRINT
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PLANTING PLAN

Scale: 1/8" = 1'-0"

Sheet No. 1 of 1

Project No. 1400

Client: Eastham Public Library

Architect: Oudens Ello Architecture, LLC

Engineer: Oudens Ello Architecture, LLC

Surveyor: Oudens Ello Architecture, LLC

Photographer: Oudens Ello Architecture, LLC

Printer: Oudens Ello Architecture, LLC

Scale: 1/8" = 1'-0"

Sheet No. 1 of 1

Project No. 1400

Client: Eastham Public Library

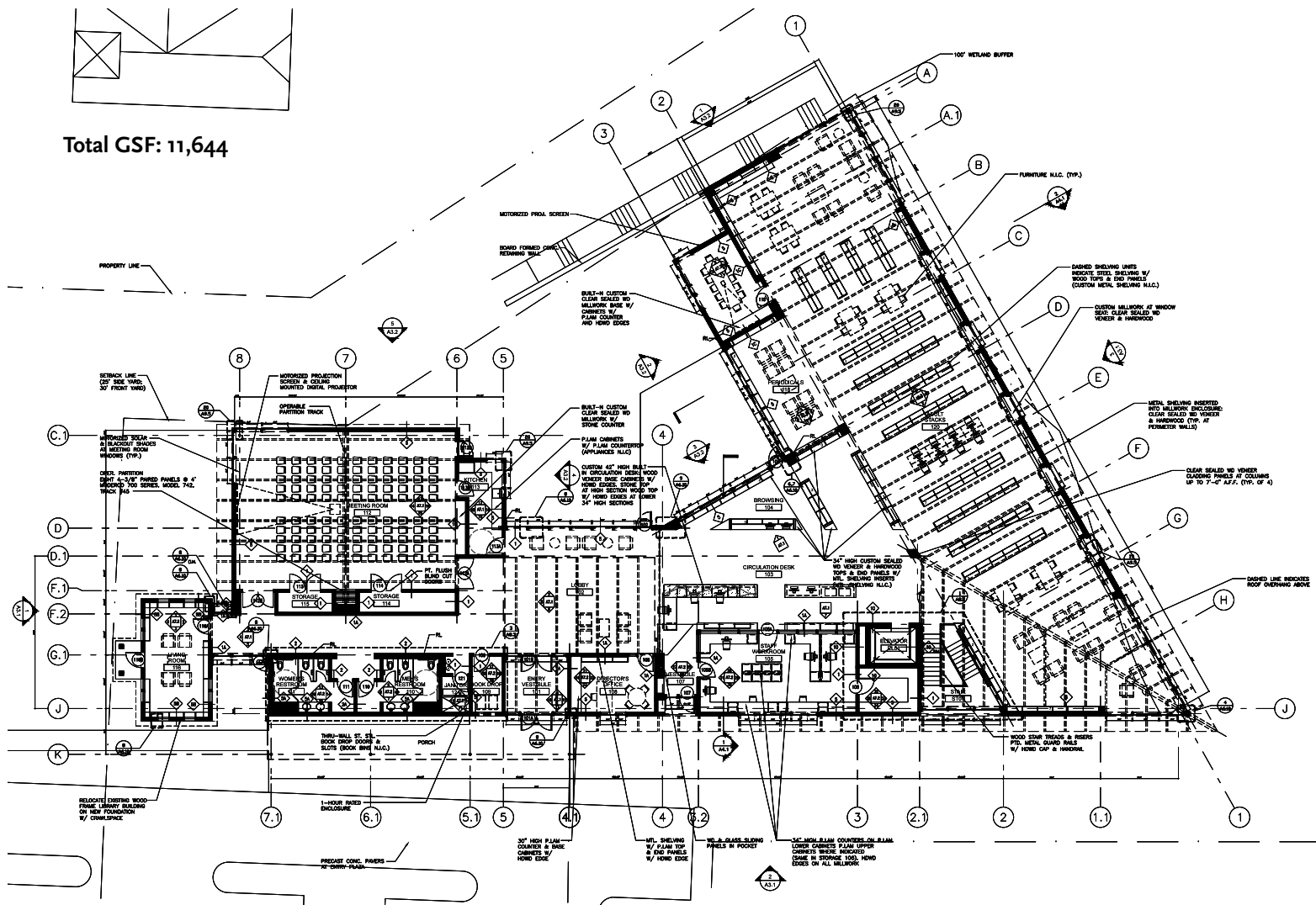
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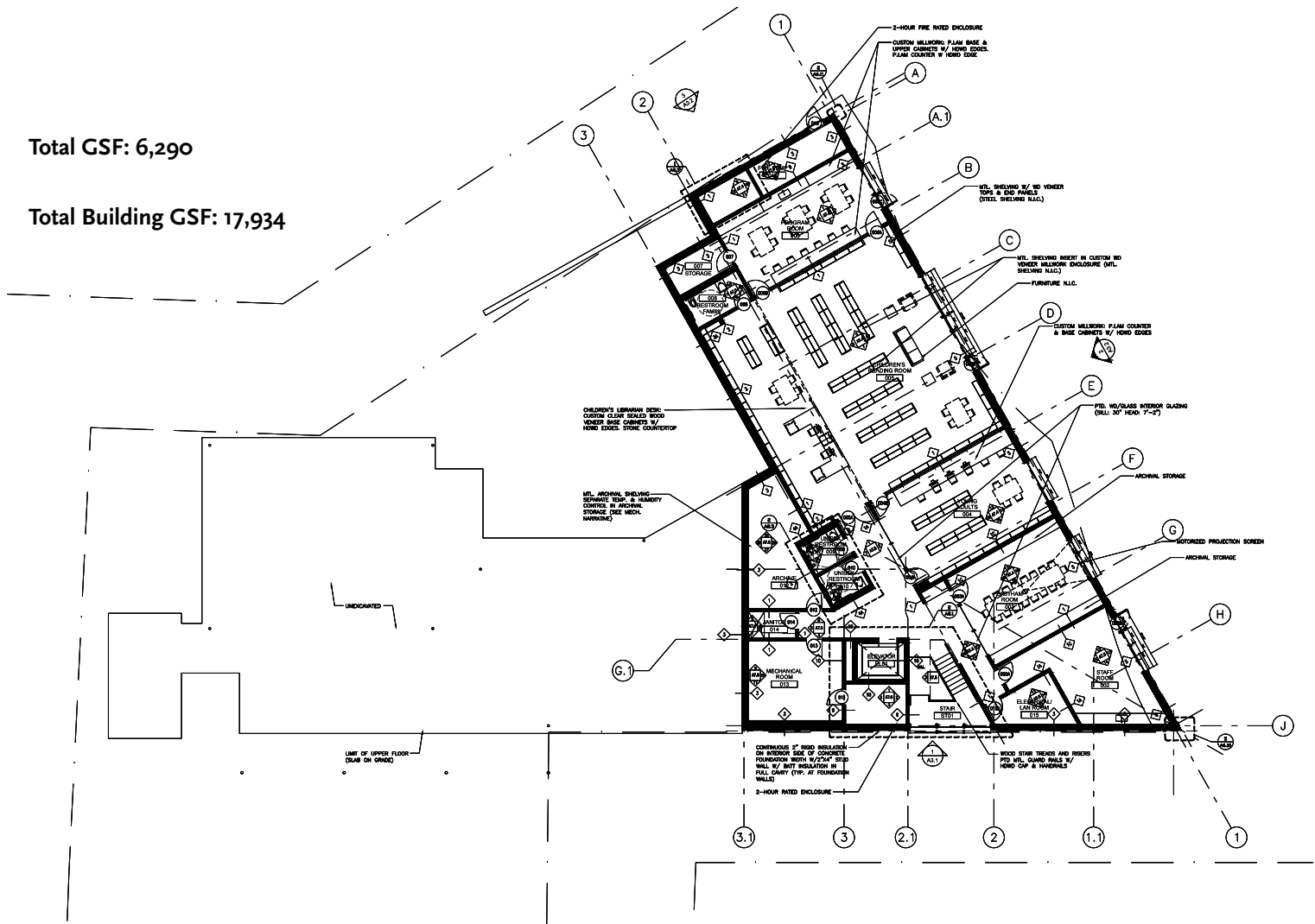


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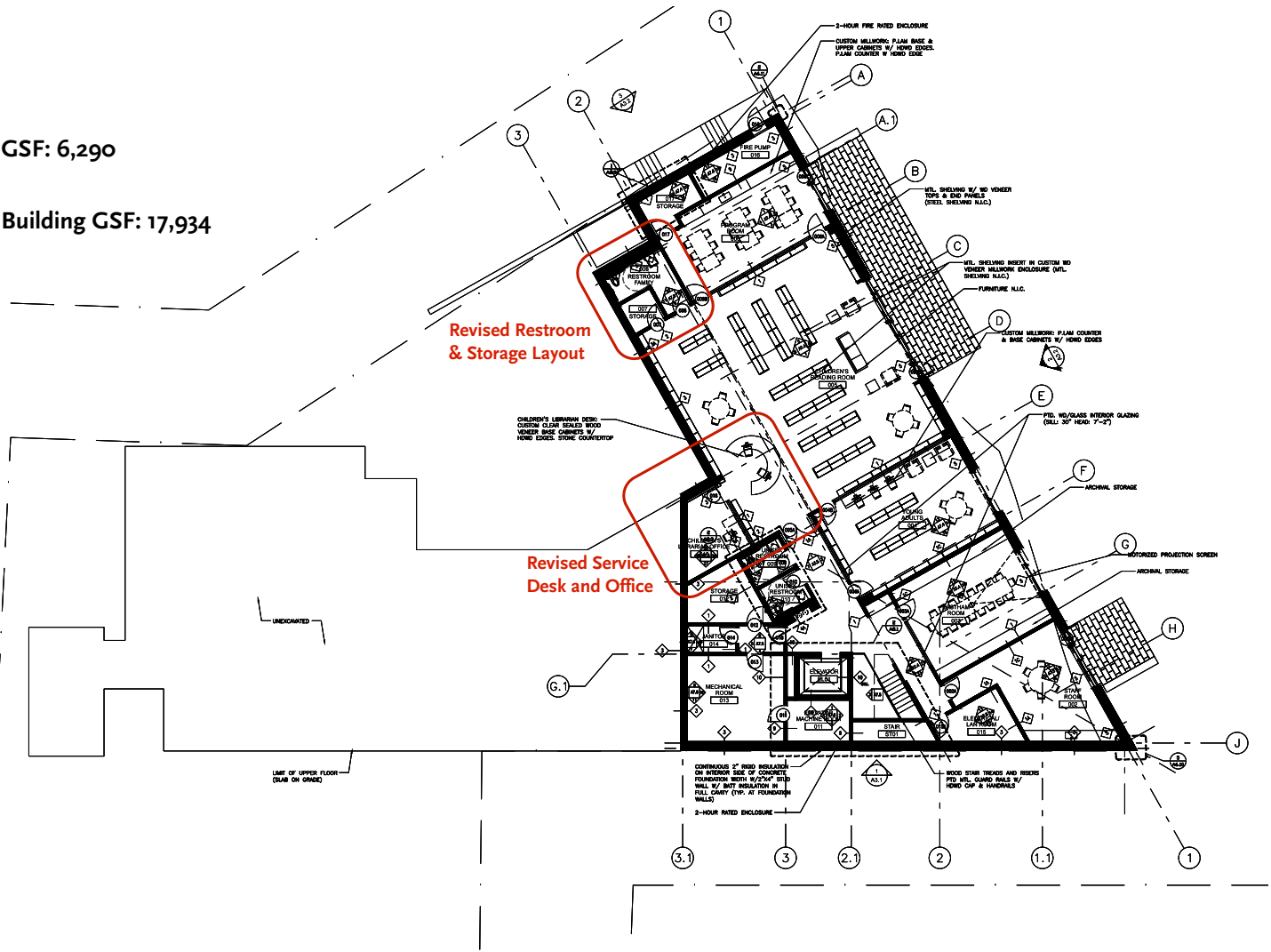
Revised Staff Workroom Layout

Total GSF: 6,290

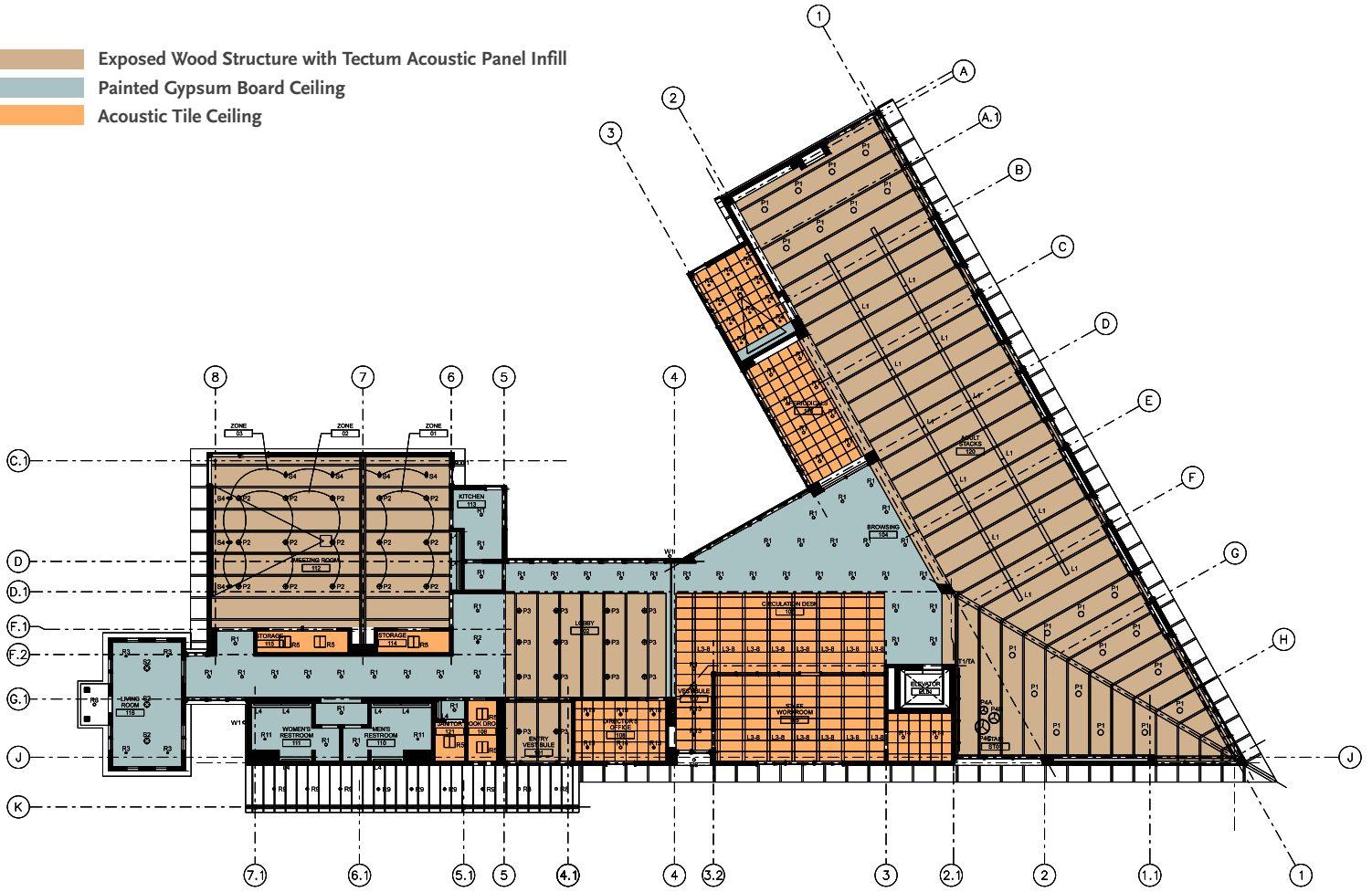
Total Building GSF: 17,934



Total Building GSF: 17,934



- Exposed Wood Structure with Tectum Acoustic Panel Infill
- Painted Gypsum Board Ceiling
- Acoustic Tile Ceiling



Upper Level Reflected Ceiling Plan



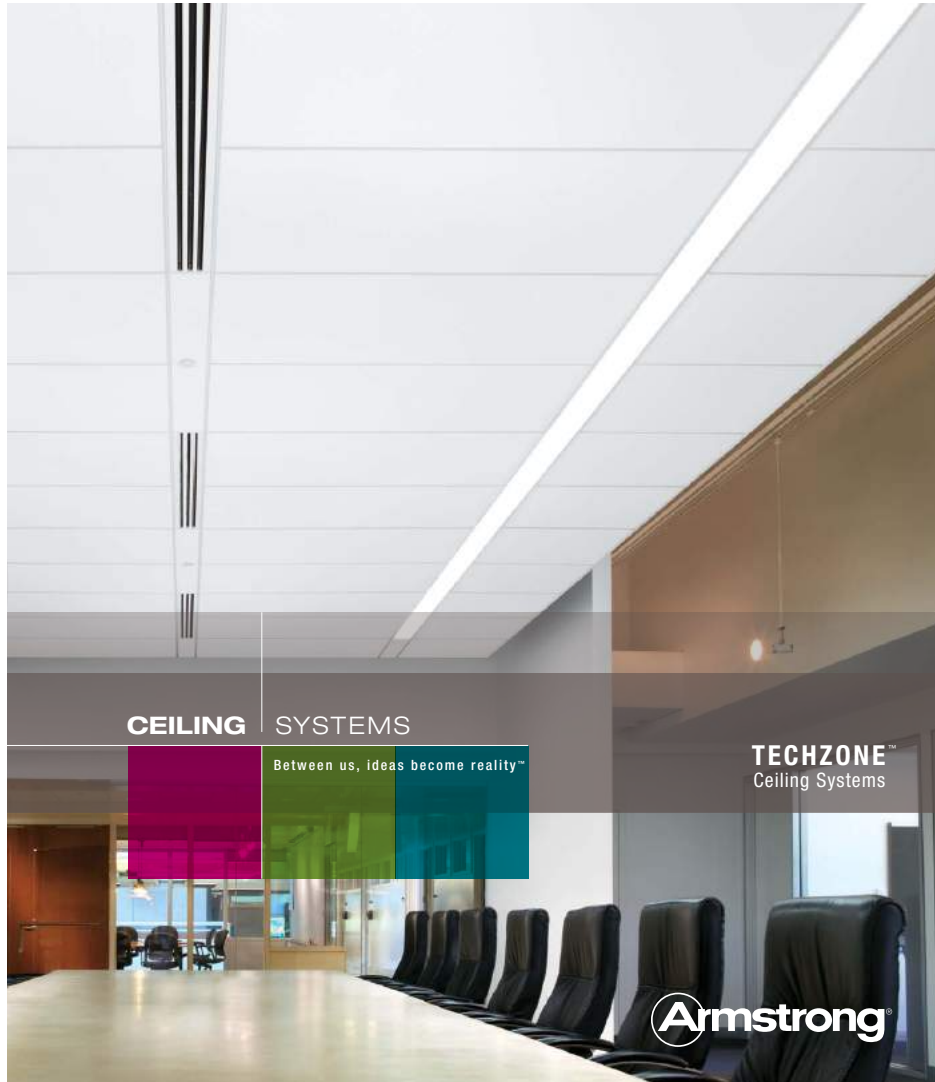
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Glulam Construction



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Armstrong Tech Zone Acoustic Ceiling



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Painted Gypsum Board Ceiling
 Acoustic Tile Ceiling





Interior View of Meeting Room



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Interior View of Meeting Room



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Interior View of Meeting Room



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Interior View of Meeting Room



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Interior View of Meeting Room



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Interior View of Circulation Desk



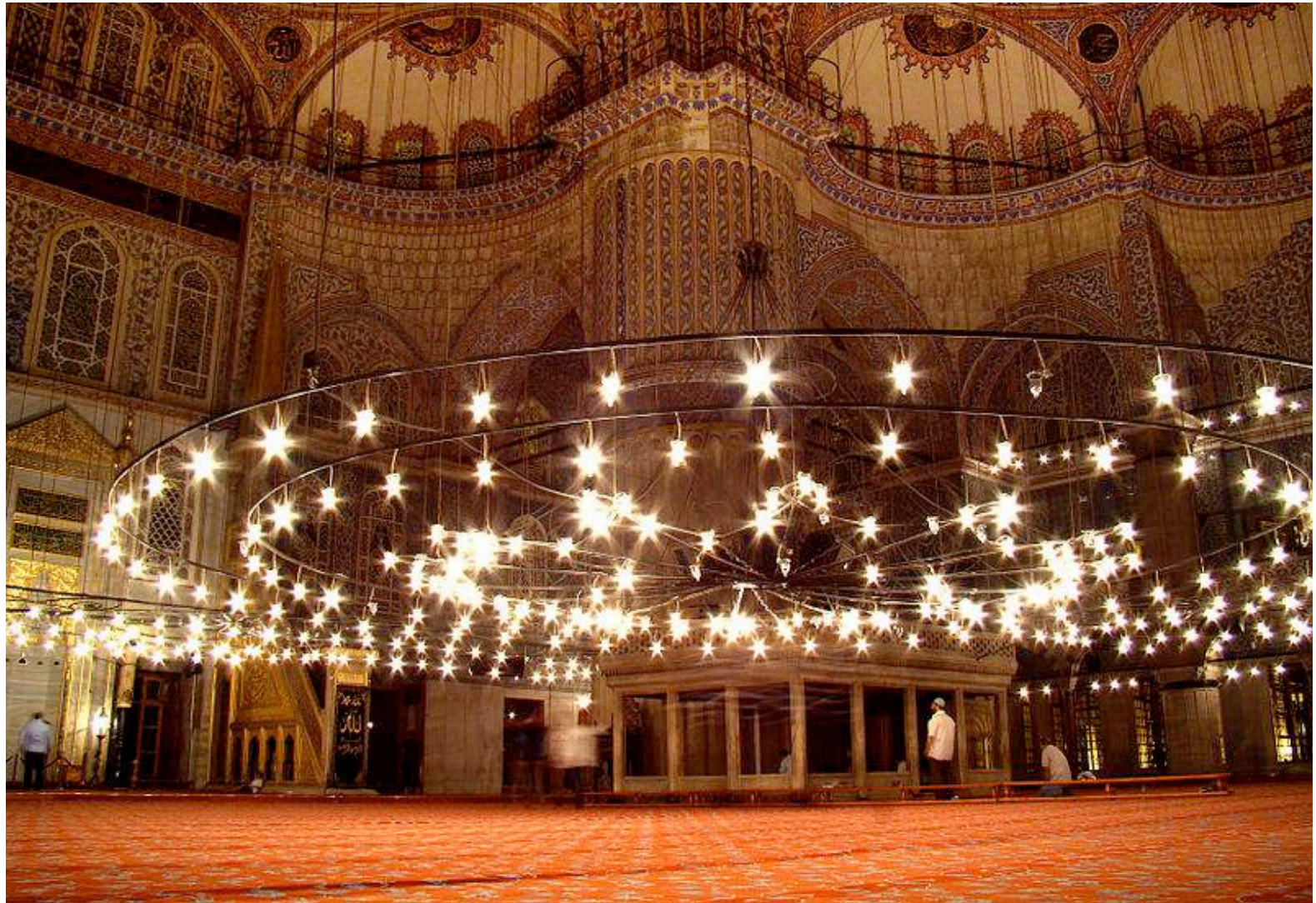
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Interior View of Adult Stacks



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Blue Mosque Pendant



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Plumen Pendant



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The New Plumen 002



Plumen Pendant



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Corona Pendant



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Interior View of Adult Stacks



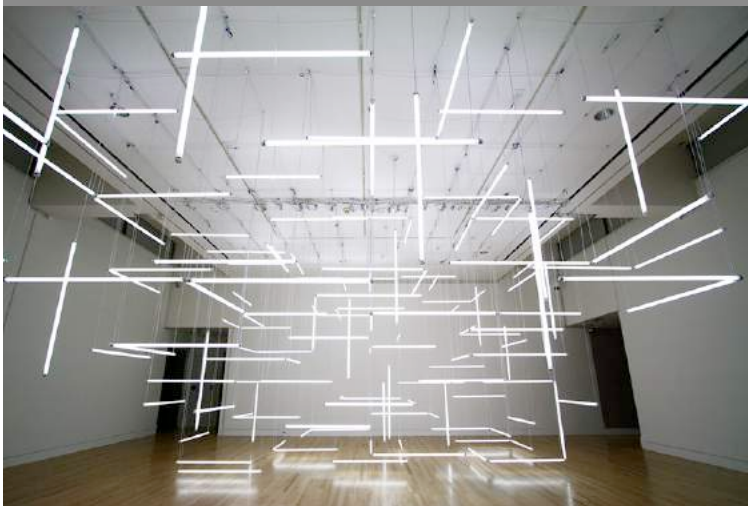
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Interior View of Adult Stacks



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Strip Fluorescent Arrangements



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Interior View of Adult Stacks



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Interior View of Adult Stacks, Quiet Reading Area



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Eastham Public Library - Furniture Schedule					
Room #	Room Name	Furniture Type	Qty.	Unit Cost	Extended Cost
102	Lobby	Soft Seating, lounge chair	8	\$1,800.00	\$14,400.00
		Round Side Table	2	\$400.00	\$800.00
		Coffee Table	1	\$600.00	\$600.00
				Room Total	\$15,800.00
103	Circulation Desk	Task Chair	3	\$350.00	\$1,050.00
		Book Truck (high capacity)	3	\$550.00	\$1,650.00
				Room Total	\$2,700.00
105	Staff Work Room	Chair	5	\$350.00	\$1,750.00
				Room Total	\$1,750.00
108	Director's Office	Executive Chair	1	\$600.00	\$600.00
		Conference Table - 42" diam.	1	\$1,200.00	\$1,200.00
		Side Chair	4	\$275.00	\$1,100.00
		Executive Desk	1	\$1,400.00	\$1,400.00
				Room Total	\$4,300.00
109	Book Drop	Steel Book Truck	2	\$1,500.00	\$3,000.00
		Lot of Storage Shelving	1	\$600.00	\$600.00
				Room Total	\$3,600.00
112	Meeting Room	Stackable Chair	120	\$180.00	\$21,600.00
		Folding Table	8	\$600.00	\$4,800.00
		Cart for Stackable Chairs	4	\$200.00	\$800.00
		Cart for Folding Tables	2	\$200.00	\$400.00
				Room Total	\$27,600.00
116	Living Room	Soft Seating, lounge chair	4	\$1,800.00	\$7,200.00
		Coffee Table	1	\$600.00	\$600.00
				Room Total	\$7,800.00
118	Periodicals	Soft Seating, lounge chair	8	\$1,800.00	\$14,400.00
		Coffee Table	1	\$600.00	\$600.00
				Room Total	\$15,000.00
119	Conference Room	Conference Table	1	\$3,000.00	\$3,000.00
		Side Chair	12	\$600.00	\$7,200.00
				Room Total	\$10,200.00
120	Adult Stacks	Rectangular Table	6	\$1,300.00	\$7,800.00
		Coffee Table	3	\$600.00	\$1,800.00
		Round Side Table	4	\$400.00	\$1,600.00
		Soft Seating, lounge chair	20	\$1,800.00	\$36,000.00
		Chair	42	\$600.00	\$25,200.00
				Room Total	\$72,400.00

002	Staff Room	Dining Table	1	\$600.00	\$600.00
		Dining Chair	6	\$180.00	\$1,080.00
				Room Total	\$1,680.00
003	Eastham Room	Conference Table	1	\$5,000.00	\$5,000.00
		Conference Chair	18	\$600.00	\$10,800.00
				Room Total	\$15,800.00
004	Young Adults	Soft Seating, lounge chair	2	\$1,800.00	\$3,600.00
		Small Side Table	1	\$400.00	\$400.00
		Reading Table	1	\$1,100.00	\$1,100.00
		Chair	7	\$600.00	\$4,200.00
				Room Total	\$9,300.00
005	Children's Reading Room	Soft Seating, lounge chair	2	\$1,800.00	\$3,600.00
		Round Table - 42" diam.	2	\$850.00	\$1,700.00
		Small Side Table	2	\$400.00	\$800.00
		Children's Chair - 12" H	8	\$150.00	\$1,200.00
		Task Chair	2	\$350.00	\$700.00
		Soft Seating, sofa	1	\$3,500.00	\$3,500.00
				Room Total	\$11,500.00
009	Program Room	Rectangular Table	3	\$800.00	\$2,400.00
		Chair	18	\$150.00	\$2,700.00
				Room Total	\$5,100.00
018	Children's Librarian Office	Task Chair	1	\$350.00	\$350.00
				Room Total	\$350.00
				SUB TOTAL	\$204,880.00
	Steel Shelving Allowance				\$125,000.00
	Wood Tops and End Panel Allowance				\$60,000.00
	Miscellaneous Allowance				\$5,000.00
				TOTAL	\$394,880.00
	Circulation Desk Allowance (move from construction budget to FF&E budget)				\$30,000.00
	Children's Desk Allowance (move from construction budget to FF&E budget)				\$20,000.00